









BOGHOSIAN SASHA & MARKRIT

1636 SHERIDAN RD GLENDALE, CA 91206



PixelArch ltd.

Canada main office:
3313 Plateau Blvd. Coquitlam BC V3E 3B8
+1 604-243-3666

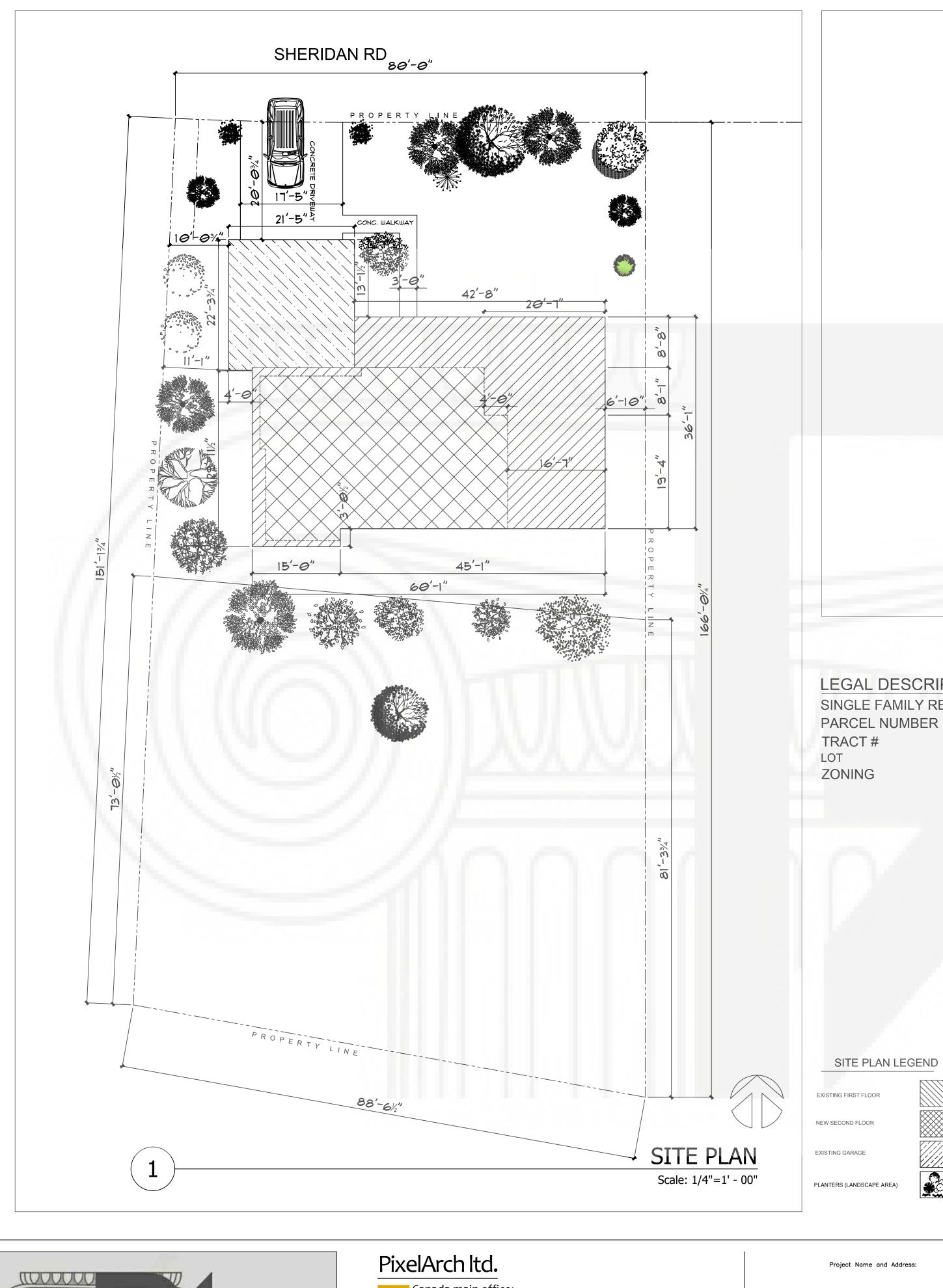
US Office:

1442 N. Dale Ave. Anaheim, CA 92801
+1 909-939-2585

Toll free: 1 844 729 0009 Email: info@pixelarchpro.com

Project Name and Address:

DRAWING TITLE:		Sheet	No.	Revision/Issue	Date
Date	DACE NO .				
APRIL 27, 2017					
Scale					
COPYRIGHT					
THIS DRAWING IS AN	INSTRUMENT OF S	ERVICE AND AS SUCH, REMAINS THE PROPERTY			
OF PIXELARCH LTD. F	PERMISSION FOR U	SE OR REPRODUCTION IS LIMITED AND CAN BE			
EXTENDED ONLY BY W	VRITTEN PERMISSION	ON WITH OWNER, PIXELARCH LTD.			





LEGAL DESCRIPTION

SINGLE FAMILY RESIDENTIAL PROPERTIES 5659-011-011 PARCEL NUMBER 22281 TRACT#

GLR1RY ZONING

TOTAL SQUARE FOOTAGE

EXISTING BUILDING FIRST FLOOR-----SECOND FLOOR -----

PROPOSED FIRST FLOOR-----0.00 SQ.FT. SECOND FLOOR -----1,111 SQ.FT. 477 SQ.FT. GARAGE -----

BALCONY -----0.00 SQ.FT. 384 SQ.FT. COVERED PATIO -----ACCESSORY BUILDING ------0.00 SQ.FT. 13,796 SQ.FT. PROPERTY -----

RATIO OF LOT COVERAGE TO LOT AREA FIRST FLOOR-----

477 SQ.FT. GARAGE-----LOT AREA (PROPERTY)- 13,796 SQ.FT.

RATIO OF FLOOR AREA TO LOT AREA

FIRST FLOOR-----SECOND FLOOR -----1,665 SQ.FT. 1,111 SQ.FT. 2.776 SQ.FT. TOTAL ----

LANDSCAPE AREA

LOT AREA (PROPERTY)- 13,796 SQ.FT. 1,665 SQ.FT. FIRST FLOOR-----

GARAGE-----477 SQ.FT. 1,503 SQ.FT. HARDSCAPE AREA-----COVERED PATIO -----384 SQ.FT.

13,796 - 4,029 = 9,767 SQ.FT. LANDSCAPE AREA

RATIO LANDSCAPE AREA TO LOT AREA

 $\frac{(9767)\times 100}{13,796} = 70.80\%$



Canada main office: 3313 Plateau Blvd. Coquitlam BC V3E 3B8 +1 604-243-3666

US Office: 1442 N. Dale Ave. Anaheim, CA 92801 +1 909-939-2585 Toll free: 1 844 729 0009 Email: info@pixelarchpro.com Project Name and Address:

BOGHOSIAN SASHA & MARKRIT

DRAWING TITLE:		Sheet	No.	Revision/Issue	Date
SITE PLAN AND LEGAL DESCRIPTION		1 of 14			
APRIL 20, 2017	PAGE NO. :	0.401			
Scale AS NOTED		a401			
COPYRIGHT					
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH, REMAINS THE PROPERTY					
OF PIXELARCH LTD. PERMISSION FOR USE OR REPRODUCTION IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN PERMISSION WITH OWNER, PIXELARCH LTD.					
EXIENDED ONLY BY WE	KII IEN PERMISSI	JN WITH OWNER, PIXELARCH LTD.			•

NOTE: THESE NOTES ESTABLISH MINIMUM STANDARDS FOR RESIDENCES. THERE MAY BE SOME NAT HAVE NO APPLICATION TO THIS PARTICULAR JOB. IF THERE ARE ANY VARIANCES BETWEEN THESE NOTES AND NOTES FOUND ELSEWHERE IN THESE PLANS THEN WHICHEVER ARE THE MOST STRINGENT SHALL APPLY.

- 1. INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD EXCEEDING 200. 2. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM NE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR
- 3. PROVIDE 4" (MIN) CONCRETE STEP DOWN AT ALL HOUSE ACCESS DOORS.
- 4. ALL ACCESS DOORS SHALL BE 1-3/4" SOLID CORE. 5. ALL PATIO DOORS, SHOWER OR TUB DOORS OR ENCLOSURES, WINDOWS OVER TUBS, OR GLASS WITHIN 12" OF DOORS, SHALL BE FULLY TEMPERED, LAMINATED SAFETY APPROVED WIRE GLASS, OR APPROVED SHATTER RESISTANT PLASTIC.
- 6 DROPPED CEILINGS BELOW WOOD JOIST OR ATTCHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFT STOPPED AT 500 SQ. FT. INTERVALS AND PARALLEL TO FRAMING MEMBERS, A 22"X30" MIN. ACCESS OPENING REQUIRED FOR ATTIC AREAS U./14/CI-I HAYE A CLEAR HEIGHT OF AT LEAST 30". ACCESS DOORS IN DRAFTSTOPPING SHALL BE SELF-CLOSING AND OF APPROVED MATERIALS.

FOUNDATION

- 1. BOTTOM OF WALL FOOTINGS SHALL BE A MINIMUM OF 30" BELOW FINISH GRADE. 2. PROVIDE APPROVED "SIMPSON" OR EQ. POST SHOE WITH 1/2"X12" ANCHOR BOLT SET IN A MINIMUM OF 8" IN CONCRETE FOR ALL WOOD PORCH AND DECK POSTS. 3. GARAGE FLOOR SHALL SLOPE A MINIMUM OF 2" TO THE OVERHEAD DOOR.
- 4. PROVIDE 4" MINIMUM CONCRETE CURB IN GARAGE. 5. CONCRETE SHALL TEST 3,000PSI (MIN) AT 25 DAYS. ALL CONCRETE SHALL BE
- 6. FINISH GRADES AT THE BUILDING SHALL BE A MINIMUM OF 8" BELOW THE TOP OF FOUNDATION. FINISH GRADES SHALL SLOPE AWAY FROM NE BUILDING 6" FOR A DISTANCE OF 101-0".

- CONCRETE FLOORS TO BE POURED ON 4" (MIN) OF GRAYEL OR CRUSHED STONE OVER CUT VIRGIN (UNDISTURBED) SOIL ANY FILL DEEPER THAN NE REQUIRED 4" SHALL ALSO BE GRAYEL OR CRUSHED
- 2. 6-MIL POLYETHYLENE VAPOR BARRIER UNDER ALL GROUND SLABS. 3. SMOOTH TROWEL FINISH ON ALL INTERIOR SLABS.
- 4. SLAB THICKNESS AND WIRE MESH (WWF) AS PER PLAN. 5. SLOPE FINISH AS REQUIRED FOR DRAINAGE.
- 6. EXTERIOR SILL TO BE SLOPED.
- 1. SLOPE EXTERIOR SLABS WITHIN 101-0" OF BUILDING. 2-PERCENT (MIN) AWAY FROM BUILDING. 8. SLOPE GARAGE SLAB 2" (MIN) TOWARD OVERHEAD DOOR.

CONCRETE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE SHALL BE

- 2500 PSI BASEMENT SLABS
- 3000 PSI BASEMENT WALLS, FOUNDATION WALLS, AND FOOTINGS 3500 PSI - PORCHES, WALKS, PATIOS, STEPS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS.
- 2. CONCRETE FOR ALL BASEMENT WALLS, FOUNDATION WALLS, PORCHES, WALKS, PATIOS, STEPS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS SHALL BE AIR-ENTRAINED. 3. FOUNDATION TO BE WATERPROOFED WITH 6-MIL POLYETHYLENE, JOINTS TO BE LAPPED 6" AND
- SEALED PER MANUFACTURER'S INSTALLATION INSTRUCTION 4. WATERPROOFING TO BE APPLIED FROM NE BOTTOM OF NE WALL TO AT LEAST 12" ABOVE THE WATER TABLE ELEVATION. THE REMAINDER OF THE WALL TO BE DAMPPROOFED.
- 5. ALL JOINTS IN WALLS AND FLOORS TO BE WATER TIGHT. 6. DOWNSPOUT DISCHARGE SHALL BE DIRECTED AWAY FROM FOUNDATION.
- SUMP PUMP DISCHARGE SHALL BE PIPED TO STORM DRAIN OR TO APPROVED WATER COARSE. DISHARGING TO OR WITHIN 10' OF A SIDEWALK, DRIVEWAY, STREET OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED. 8. DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO AN
- APPROVED SUMP (15" IN DIAMETER X 18" DEEP WITH FITTED COVER) HAVING A SUMP PUMP THAT DISCHARGES INTO AN APPROVED DISPOSAL SYSTEM.
- 9. PROVIDE WATERPROOFING MEMBRANE UNDER FLOOR SLAB OF POLYETHYLENE WITH JOINTS LAPPED A MINIMUM OF 6 INCHES AND SEALED. CONCRETE

. ALL FRAMING LUMBER SHALL BE MINIMUM 2012 NDS SOUTHERN YELLOW PINE (TYPICAL UNLESS NOTED

- OTHERWISE ON PLANS) 2. FLOOR JOISTS SHALL BE FASTENED TO FNDN. SILL WITH THREE 8-PENNY NAILS AT EA. JOIST.
- 3. TIE FLOOR JOIST TOGETHER WITH THREE 16-PENNY NAILS AT EACH TIE. 4. NAIL IX3 TO BOTTOM OF FLOOR JOST ON EACH SIDE OF ALL STEEL BEAMS.
- 5. ALL EXTERIOR WALLS TO BE BRACED PER ST. LOUS COUNTY'S SIMPLIFIED BRACING METHOD FOR ONE AND TWO FAMILY DWELLINGS WHEN THE ENTIRE STRUCTURE IS SHEATHED WITH WOOD STRUCTURAL PANELS.
- 6. FIRE STOPPING SHALL BE PROVIDED AT ALL SOFFITS, DROP CEILINGS AND AT V-0" MAX. VERTICAL INTERVALS
- 1 ALL LINTELS SHALL BE TWO 2XIB'S UNLESS OTHERWISE NOTED 8. ALL EXPOSED MATERIALS FOR PORCHES, CARPORTS, SOFFITS, OVERHANGS, CARPORT CELLINGS, AND
- ETC. TO BE EXTERIOR GRADE MATERIALS. 9. SILL PLATE AND ALL OTHER WOOD IN CONTACT WITH CONCRETE SHALL BE TRIO. MATERIAL 10.CUTTING, NOTCHING, AND/OR BORING HOLES ON WOOD BEAMS, JOISTS, RAFTERS, OR STUDS SHALL NOT EXCEED THE LIMITATIONS NOTED IN SECTIONS 85028, R602.6, AND R602.6.1 OF 2003 IRC.
- 11. REINFORCEMENT OF STUDS SHALL BE DONE IN ACCORDANCE WITH SECTION 86023 2009 IRC. 12. NAILING AND FASTENING OF FLOOR, ROOF/CEILING, WALL AND ROOF SHEATHING, AND GYPSUM
- 13. DRAFTSTOP FLOOR TRUSSES EVERY 500 SOFT (MIN) 14. BASEMENT FOUNDATION FUR WALLS SHALL BE FIREBLOCKED AS PER THE FOLLOWING:
- FILL THE FLOOR JOIST CAVITY SOLID WITH MINERAL WOOL OR DRYWALL DIRECTLY ABOVE ANY WALL THAT SEPARATES A FINISHED AREA FROM AN UNFINISHED AREA.
- INSTALL VERTICAL FIREBLOCKING AT 101-0" INTERVALS IN FURRED OUT WALLS AGAINST A CONCRETE FOUNDATION WALL
- INSTALL FIREBLOCKING AT THE INTERSECTION OF CONCEALED VERTICAL SPACES AND CONCEALED HORIZONTAL SPACES

INSULATION

- I. MINIMUM INSULATION VALUES SHALL BE AS FOLLOWS
- ROOF/CEILING FRAME: WALL 4 BAND JOISTS: FLOOR OVER UNHEATED CRAWL SPACE: FINISHED BASEMENT FOUNDATION WALL: R-13 (FULL HEIGHT) UNFINISHED BASEMENT FOUNDATION WALL: R-5 (20% MIN. OF EXPOSED FNDN.)
- SLAB ON GRADE FLOORS: R-10 (NO DUCTWORK IN THE SLAB) R-15 (DUCTWORK IN THE SLAB) DUCTWORK IN NON-CONDITIONED SPACE:
- 2. THE BASEMENT FOUNDATION WALL INSULATION SHALL EXTEND DOWN TO THE BASEMENT FLOOR SLAB OR TO A MINIMUM OF 24" BELOW OUTSIDE FINISHED GRADE WHEN THE GRADE IS ABOVE THE FLOOR SLAB ELEVATION.
- 3. BATT OR BLANKET INSULATION INCLUDING THE VAPOR RETARDER BREATHER PAPER OR OTHER COVERINGS SHALL NOT BE LEFT EXPOSED IN UNFINISHED BASEMENTS UNLESS THE MATERIAL HAS A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS.
- 4. ALL FOAM PLASTIC INSULATION SHALL BE SEPARATED FROM THE INTERIOR OF THE BUILDING BY A THERMAL BARRIER OF 1/2" GYPSUM WALLBOARD. 5. ALL FOAM PLASTICS SHALL HAVE A FLAME SPREAD RATING OF 15 OR LESS AND A

SMOKE DEVELOPMENT RATING OF 450 OR LESS. SOUND TRANSMISSION

AIR-BORNE SOUND INSULATION FOR WALL AND FLOOR-CEILING ASSEMBLIES SHALL MEET A SOUND TRANSMISSION CLASS (STC) RATING OF 45 (OR GREATER) WHEN TESTED IN ACCORDANCE WITH ASTM E 90. SEE APPENDIX K - SOUND TRANSMISSION OF THE 2009 IRC.

- . DOWNSPOUTS AND FOUNDATION DRAINS WILL NOT BE CONNECTED TO SANITARY SEWER 2. "NO LEAD" SOLDER IS REQUIRED FOR ALL COPPER WATER SUPPLY PIPING. 3. NOTE THAT THE WATER SERVICE PIPE AND THE BUILDING SEWER ARE TO BE A MINIMUM
- OF 10' APART HORIZONTALLY 4. BASEMENT AREA WAY DRAINS AND FOUNDATION DRAIN TILES ARE NOT TO BE
- CONNECTED TO A SANITARY SEWER 5. WATER SERVICE LINE SIZE 4 LOCATION PER FOUNDATION PLAN
- 6. PROVIDE 50 GALLON ELECTRIC WATER HEATER 1. PROVIDE EXPANSION TANK FOR WATER HEATERS ABOVE 30 GALLONS. 8. PROVIDE FLOOR DRAIN. SLOPE SLAB TOWARD.

1. ELECTRICAL WORK SHALL INCLUDE THE WIRING FOR ALL ELECTRICAL EQUIPMENT WHICH IS A PART OF THE BUILDING ITSELF. INCLUDING BUT NOT LIMITED TO: HEATING UNITS, AIR CONDITIONING UNITS, TOILET FANS, ELECTRICAL PANEL,

SMOKE DETECTORS: TO BE UL. LISTED AND A.C. POWERED AND INSTALLED ACCORDING TO CURRENT NF.PA. 9PECS. ALL UNITS SHALL BE INTERCONNECTED.

DRYWALL

- I. DRYWALL INSTALLATION MUST BE ACCORDANCE WITH THE GYPSUM ASSOCIATION'S RECOMMENDATIONS IN THICKNESS, NAILING, TAPING, AND ON CORRECT STUD SPACING. FIRE RATED TYPES SHALL BE INSTALLED IN ACCORDANCE WITH TEST ASSEMBLIES. 2. APPROVED WATER RESISTANT GYPSUM BACKER BOARD IS REQUIRED IN BATHTUB AND SHOWER COMPARTMENTS.
- 3. PROVIDE 5/8" TYPE "X" DRYWALL AT REQUIRED FIRE PARTITIONS AND FIRE CEILINGS. 4. ALL FIRE RATED DRYWALL ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROVED TEST ASSEMBLY.

5. NAILING AND FASTENING OF GYPSUM CONSTRUCTION SHALL BE IN ACCORDANCE WITH TABLE

R6023(1) AND R602.3(2) OF 2009 IRC. HYAC/GENERAL MECHANICAL

- 1. EACH GAS APPLIANCE SHALL HAVE A GAS SHUTOFF VALVE AND GROUND JOINT UNION. A SEDIMENT TRAP IS REQUIRED AT EACH APPLIANCE OR GROUP OF APPLIANCES. 2. GAS PIPING SHALL BE IDENTIFIED PER 2003 IRC AND ANY PREVAILING CODES.
- PROPRIETARY NAIL PLATES TO PROTECT AGAINST ACCIDENTAL PUNTCURE. 4. CLOTHES DRYERS EXHAUST SHALL BE 4". (MIN) SMOOTH INTERIOR METAL DUCT, INDEPENDENT OF ALL OTHER SYSTEMS, AND EXHAUSTED TO THE EXTERIOR WITH A 25' -0"

3. FLEXIBLE GAS PIPING MAY ONLY BE USED IN CONJUNCTION WITH THE MANUFACTURES

- (MAX) LENGTH. 5. RESIDENTIAL BATHROOMS WITHOUT WINDOWS FOR NATURAL VENTILATION SHALL EXHAUST 50 CFM MINIMUM TO THE EXTERIOR IT IS NOT PERMISSIBLE TO DISCHARGE EXHAUST TO THE ATTIC
- 6. KITCHEN RANGE HOODS: A 100 CFM FAN, (INTERMITTENT USE) OR A FAN CONTINUOUSLY EXHAUSTING 25 CFM SHALL BE INSTALLED. 1. ANY EXHAUST FAN OVER 600 CFM WILL BE REQUIRED TO HAVE AN INTERGRAL AND

AUTOMATIC MAKE-UP AIR FEATURE. 8. ALL DUCT WOW AND CHASE SEAMS AND JOINTS ARE TO BE SEALED TIGHT.

- 1. CLASS A, B, OR C ROOFING SHALL BE REQUIRED WHERE THE EDGE OF THE ROOF IS LESS THAN 31-0" TO THE PROPERTY LINE 2. ALL UNDERLAYMENT TO BE A MINIMUM OF TYPE-I PER ASTM D226-91A OR TYPE-I PER ASTM
- D4869-88(1993)E (TYPE-1 IS COMMONLY CALLED NO. 15 ASPHALT FELT) 3. INDICATE CORROSION-RESISTANT FLASHING AT ALL WALL AND ROOF INTERSECTION, CHANGES IN ROOF SLOPE OR DIRECTION, AROUND ALL ROOF OPENINGS, INTERSECTIONS WITH CHIMNEYS, INERSECTION OF EXTERIOR WALLS AND PORCHES AND DECKS, ETC. VALLEY FLASHING SHALL BE INSTALLED PER 89052.82 4. BUILT-UP MEMBRANE ROOF SLOPE IS 1/4:12 WITH APPROVED LOW-SLOPE ROOF COVERING (CL) CLOSET LIGHTING CLEARANCE REQUIREMENTS
- MATERIALS. A COLA-TAR BUILT-UP MEMBRANE MAY BE INSTALLED ON 1/8:12 SLOPE. 5. MINERAL SURFACED ROLL ROOFING SHALL CONFORM TO ASTM D 224, D 249, D 311, D3909. IT SHALL NOT BE INSTALLED ON ROOF SLOPES BELOW 1:12
- 6. UNDERLAYMENT FOR ASPHALT SHINGLES: SLOPES OF 2:12 TO LESS THAN 4:12 SHALL BE PROTECTED WITH TWO LAYERS OF UNDERLAYMENT, APPLY A 19" STRIP OF UNDERLAYMENT FELT PARALLEL WITH AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD INTO PLACE. STARTING AT THE EAVE, APPLY 36" WIDE SHEETS OF UNDERLAYMENT. SUCCESSIVE 36" WIDE SHEETS OF UNDERLAYMENT SHALL OVERLAP THE PREVIOUS 36" WIDE SHEET BY IR. ALL UNDERLAYMENT SHALL BE FASTENED SUFFICIENTLY TO HOLD INTO PLACE.
- SLOPES EQUALING OR EXCEEDING 4:12 SHALL BE PROTECTED WITH ONE LAYER OF UNDERLAYMENT. UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHON, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2", FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6'-0".

FLASHING, CAULKING AND SEALANT

- EXTERIOR JOINTS AROUND WINDOW AND DOORFRAMES, BETWEEN WALL CAVITIES AND WINDOW OR DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEM WALL AND ROOF, BETWEEN WALL PANELS AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS, FLOORS, AND ROOFS, AND ALL OTHER OPENINGS IN THE
- EXTERIOR ENVELOPE SHALL BE SEALED IN APPROVED MANNER 2. CORROSION-RESISTANT FLASHING IS REQUIRED AT THE TOP AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS AND AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTUCTION AND FRAME WALLS.
- 3. SEE ABOVE FOR ROOF VALLEY TREATMENT. 4. ALL WALLS ABOVE THE FOUNDATION SHALL BE WRAPPED WITH "TYVEK" INSTALLED IN ACCORD WITH THE MANUFACTURES RECOMMENDATIONS.

WINDOWS (MANUFACTURE TO BE JELD-WEN)

- IINDOW SIZES ARE NOMINAL INDUSTRY GLASS SIZES. CHECK BRAND REQUIREMENTS 2. ONE WINDOW IN EACH BEDROOM MUST MEET 2009 IRC EGRESS REQUIREMENTS. ALL MEASUREMENTS MUST BE CLEAR OPENINGS MINIMUM WIDTH 20 INCHES
- MINIMUM AREA OF CLEAR OPENING 5.1 SQ. FT. AT GROUND LEVEL

MINIMUM HEIGHT 24 INCHES

- 5.1 SQ. FT. ABOVE GROUND LEVEL BOTTOM OF CLEAR OPENING CAN NOT BE MORE THAN 44" ABOVE FLOOR 3. GLAZING IN STOW DOORS, EXTERIOR OR INTERIOR DOORS, PATIO DOORS, SHOWER AND BATHTUB ENCLOSURE WALLS, PANELS AN DOORS TO BE FULLY TEMPERED TYPE-2
- LAMINATED SAFETY GLASS, OR APPROVED SHATTER RESISTANCE PLASTIC. 4. WINDOW 4 DOOR U-VALUES SHALL BE DETERMINED IN ACCORDANCE WITH NFRCIOO-2004, AND LABELED OR CERTIFIED BY THE MANUFACTURE, OR SHALL BE ASSIGNED THE U-VALUES LISTED IN TABLES NII@15(1) AND NII@15(2).

BASEMENT EGRESS

- ALL BASEMENTS TO HAVE ONE (1) OPENABLE EMERGENCY EGRESS WINDOW. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPENABLE EMERGENCY ESCAPE AND RESCUE OPENING. 2. DOORS CAN BE INSTALLED IN LIEU OF WINDOWS.
- 3 WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR 4 WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND LEVEL SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING, AND IS PROVIDED WITH A BULKHEAD ENCLOSURE, THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION 83103 OF 2009 IRC. GROUND ELEVATION SHALL BE PROVIDE WITH A WINDOW WELL, IN ACCORDANCE WITH SECTION

WINDOW WELLS

83102 OF 2009 IRC

- 1. THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9-90FT WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36". THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.
- 2. EXCEPTION: THE LADDER OR STEPS REQUIRED BY SECTION R3/02.1 SHALL BE PERMITTED TO ENCROACH A MAXIMUM OF 6" INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL 3. WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44" SHALL BE EQUIPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN
- 4. LADDERS OR RUNGS SHALL HAVE A INSIDE WIDTH OF AT LEAST 12" AND SHALL PROJECT AT LEAST 3" FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 16" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL
- 5. BULKHEAD ENCLOSURES SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT. 6. A BULKHEAD ENCLOSURE WITH THE DOOR PANELS IN THE FULLY OPEN POSITION SHALL PROVIDE THE MINIMUM NET CLEAR OPENING REQUIRED BY SECTION R310.1.
- 1. BULKHEAD ENCLOSURES SHALL COMPLY WITH SECTION 8311.582. 8. BAR9, GRILLS, COVERS AND SCREENS OR SIMILAR DEVICES ARE PERMITTED TO BE PLACED OVER EMERGENCY ESCAPE AND RESCUE OPENINGS, BULKHEAD ENCLOSURES, OR WINDOW WELLS THAT SERVE SUCH OPENINGS, PROVIDED THE MINIMUM NET CLEAR OPENING SIZE COMPLIES WITH SECTIONS R310.1.1 TO R310.13, AND SUCH DEVICES SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF THE ESCAPE AND RESUCE OPENING. 9. WINDOW WELL AREAWAY DRAINS TO BE 2" OR 3" AS PER PLAN.

FLOOR PLAN NOTES

(EL) ELECTRICAL SYMBOLS

NOTE: NOT ALL NECESSARILY OCCUR ON THIS PAGE.

- I. ALL OUTLETS LOCATED IN GARAGE, KITCHEN, LAUNDRY, BATHROOMS 4 ON EXTERIOR TO BE 2. ALL OUTLETS LOCATED ON EXTERIOR TO BE WATERPROOFED ELECTRICAL LAYOUT FOR
- GENERAL BIDDING. 3. PROVIDE EXTERIOR WATERPROOF GFI RECEPTIACLE WITHIN 251-0" OF A/C CONDENSING UNIT. 4. ALL BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 AMP 4 20 AMP OUTLETS IN BEDROOMS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER LISTED TO
- PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT PER 2009 IRC. 5. PROVIDE INTER-9Y9TEM BONDING TERMINAL FOR GROUNDING COMMUNICATION 9Y9ETEM9 (CABLE TV 4 SATELLITE DISHES) 6. IF THE UNDERGROUND METAL WATER PIPE IS USED AS THE GROUNDING ELECTRODE, THE
- CONNECTION MUST BE MADE TO THE PIPE WITHIN 51-0" OF POINT OF ENTRANCE TO THE BUILDING: A SUPPLEMENTAL GROUNDING ELECTRODE SHALL BE PROVIDED AS SPECIFIED IN NEC SECTIONS 250-50 AND 250-53. 1. ELECTRICAL CONTRACTOR RESPONSIBLE FOR ALL CODE REQUIREMENTS AND ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
- 110 Y DUPLEX OUTLET

220 V OUTLET

- 110 Y DUPLEXOUTLET-SPLIT WIRED (1/2 SWITCHED)
- 110 V DUPLEX OUTLET WITH GROUND FAULT INTERUPTION (GFI) GFI/WP 110 Y DUPLEX OUTLET WITH GFI AND WEATHER PROOF (WP) COYER 110 Y DUPLEX OUTLET

 - SINGLE POLE SWITCH
- MULTIPLE SINGLE POLE SWITCHES GANGED
- MALL LIGHT FIXTURE - INCANDESCENT LIGHT FIXTURE
- INCANDESCENT LIGHT FIXTURE WITH PULL CHAIN
- INCANDESCENT DOUBLE FLOOD LIGHTS 50 CFM MIN. EXHAUST FAN VENTED TO EXTERIOR SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND LISTED IN
- ACCORDANCE WITH UL 211 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 12-01. CARBON MONOXIDE DETECTOR SHALL COMPLY WITH UI _2034-2008

PADDLE FAN WITH INCANDESCENT LIGHT

- INSTALL LUMINAIRES IN CLOTHES CLOSETS PER 2009 IRC. 2. TYPES OF LUMINARIRES SHALL BE LIMITED TO SURFACE-MOUNTED OR RECESSED INCANDESCENT LUMINARIRES WITH COMPLETELY ENCLOSED LAMPS, AND
- SURFACE-MOUNTED OR RECESSED FLUORESCENT LUMINAIRES. 3. INCANDESCENT LUMINARIRES WITH OPEN OR PARTIALY ENCLOSED LAMPS AND PENDANT LUMINAIRES OR LAMP-HOLDERS SHALL BE PROHIBITED. 4. LUMINAIRE INSTALLATIONS SHALL BE IN ACCORDANCE WITH ONE OR MORE OF THE
- SURFACE-MOUNTED INCANDESCENT LUMINAIRES SHALL BE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING, PROVIDED THERE IS A MINIMUM CLEARANCE OF 12-INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE. SURFACE-MOUNTED FLUORESCENT LUMINAIRES SHALL BE INSTALLED ON THE WALL
- ABOVE THE DOOR OR ON THE CEILING, PROVIDE THERE IS A MINIMUM CLEARANCE OF 6-INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE. RECESSED INCANDESCENT LUMINARIRES WITH A COMPLETELY ENCLOSED LAMP SHALL BE INSTALLED IN THE WALL OR THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 6-INCHES BETWEEN THE LUMINAIRE AND THE NEAREST POINT OF A
- STORAGE SPACE. RECESSED INCANDESCENT LUMINARIRES SHALL BE INSTALLED IN THE WALL OR ON THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 6-INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.

(RN) RAILING NOTES

. GUARDRAILS SHALL BE 36" HIGH (MIN)

- 2. INTERIOR HANDRAILS SHALL BE 34" ABOVE AND EXTERIOR HANDRAILS SHALL BE 34" (MIN) TO 38" ABOVE AND PARALLEL TO A LINE TOUCHING THE FRONT OF STAIR NOSING. 36" (MIN) ON OPEN
- 3. THE MAXIMUM SPACE BETWEEN PICKETS OR RAILS SHALL NOT ALLOW A 4" DIA. SPHERE TO PASS THE GRAIN. 5- PROVIDE SADDLES OR OTHER APPROVED CONNECTIONS WHERE "PI" SUPPORTS OR RESTS ON 4. HANDRAILS SHALL BE ROUND. 125" (MIN) 4 2" (MAX) DIAMETER THERE SHALL BE A MINIMUM OF 1.5 BETWEEN HANDRAIL AND WALL. THE MAXIMUM PROTRUSION INTO REQUIRED STAIR WIDTH IS 3.5"

5. HANDRAIL ENDS SHALL RETURN TO A WALL OR NEWEL POST FIREPLACE

- OBTAIN CURRENT INSTALLATION MANUALS OF MODEL TO BE USED AND FILE REQUIRED COPIES OF SAME WITH THESE PRINTS. HEARTH SHALL EXTEND 12" (MIN) EITHER SIDE OF AND 20" (MIN) IF FRONT OF FACE OPENING.
- HEARTH SHALL BE 4" (MIN) MASONRY ON BACKER BOARD. FIREPLACE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURES INSTALL MANUAL. INSTALLATION INSTRUCTIONS TO REMAIN ON SITE AT ALL TIMES.

GARAGE WALL

- PROVIDE 5/8" TYPE "X" DRYWALL ON CEILING AND GARAGE SIDE OF INTERIOR PARTITIONS OF ATTACHED GARAGES. IF GARAGE IS IN BASEMENT OR HAS HABITABLE SPACE ABOVE, USE 5/8"
- 2. ALL BEARING WALLS, BEAMS, AND COLUMNS SUPPORTING THE FLOOR/CEILING ASSEMBLY MUST PROTECTED WITH 1/2" (MIN) GYP. BRD. 3. PROVIDE 4" (MIN) STEP DOWN AT INTERIOR DOORS. DROP SLAB 4" (MIN) AT INTERIOR PARTITIONS FOR BASEMENT GARAGES. DROP SLAB 4" (MIN) BELOW TOP OF HOUSE FOUNDATION POUR, IF ATTACHED. 4. CONNECTING DOORS BETWEEN HOUSE AND GARAGE SHALL BE 13/4" SOLID CORE WOOD DOOR OR SOLID HONEYCOMB CORE STEEL DOOR
- 5. SLOPE CONCRETE SLAB 2" (MIN) TOWARD OVERHEAD DOOR 5. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT (RN) WOOD SUPPORT COLUMNS (ABOVE FOUNDATION LEVEL) PROVIDE A MINIMUM OF FOUR (4) STUDS, IF 2X4 FRAMING, AND THREE (3) STUDS, IF 2X6
 - FRAMING, UNLESS NOTED OTHERWISE. STUD POSTS SHALL BE GLUED AND NAILED TOGETHER ALL STUDS SHALL BE RILL LENGTH. 2. PROVIDE BLOCKING UNDER GANGED STUDS BETWEEN FLOOR JOIST SO THAT ENTIRE AREA OF STUDS IS SUPPORTED.
 - 3. SUPPORT SHALL BE FROM UNDERSIDE OF BEAM TO FOUNDATION, MAIN BEAM OR CONCRETE 4. PROVIDE APPROVED TIES AT ALL CONNECTIONS TO PREVENT MOVEMENT DUE TO WIND 4 SEISMIC FORCES

5. BLOCKING REQUIRED AT ALL CONTINUOUS POINT LOADS (SEE "SN" SYMBOLS)

FOUNDATION NOTES

SM) SYMBOLS

- NOT ALL NECESSARILY OCCUR ON THIS PAGE.
- CONCENTRATED POST LOAD BREAKING POINT LOCATION CONTINUOUS TO BEARING. CONCENTRATED BEARING POINT CONT. FROM ABOVE. INSTALL BLOCKING AS REQ'D. INDICATES PLUMBING STACK/FLUE LOCATION ABOVE.
- FRAME WALL BRICK MASONRY WALL INTERIOR BEARING WALL DEMO WALL

BE TREATED MATERIAL

SILL PLATES AND ALL OTHER WOOD IN CONTACT W/ CONCRETE OR WITHIN 8" OF GRADE IS TO

- NOTE: FOUNDATION CONTRACTOR SHALL CHECK WITH OTHER TRADES FOR REQUIRED POCKETS AND OPENINGS VERIEY ALL ROUGH OPENINGS SIZES BEFOR STARTING POUR
- I. BASEMENT WALL: THICKNESS AND HEIGHT, AS WELL AS FOOTING SIZE SHALL BE AS INDICATED ON PLAN. (SEE SECTIONS 4 DETAILS FOR ADDITIONAL INFORMATION) 2. 2 - GARAGE OR PORCH: 8"X21-6" POUR ON 8"X22" FOOTING, UNLESS NOTED OTHERWISE.
- 1/2"×12" ANCHOR BOLTS AT 4'-0" O.C. (MIN) AND TWO (2) IN EACH SILL PLATE (MIN) ALL BOLTS TO BE EMBEDDED 8" (MIN) AND 2 1/2" ABOVE POUR PROVIDE WASHER AND NUT AT EACH. BOLTS SHALL BE 3" IN FROM OUTSIDE SURFACE FOR FRAME

3. 3 - FROST WALL FOR SLAB FLOOR: $8"\times 21-6"$ POUR ON $8"\times 22"$ FTG, UNLESS NOTED OTHERWISE. SET

- 4. CONSTRUCTION, AND 3" FROM INSIDE SURFACE OF CONCRETE FOR BOTH BRICK VENEER AND LOG MEP NOTES CONSTRUCTION.
- 5. 4 SEE SECTIONS AND DETAILS FOR REINFORCING DETAILS.
- 6. 5 WATERPROOFING/DAMPPROOFING FOUNDATION BELOW GRADE: IF SOLS ENGINEER REPORT ALLOWS USE SPRAY ON ASPHALT EMULSION DAMPROOFING. IF REPORT DOES NOT ALLOW OR, WITHOUT REPORT, USE MODIFIED POLYMER ASPHALT MEMBRANE WATERPROFFING: GROUNDWATER PRESENT - PROVIDE DRAIN TILE, PERFORATED PIPE, OR OTHER APPROVED FOUNDATION DRAINAGE SYSTEM BOTH INSIDE AND OUTSIDE OF FOUNDATION. -DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO AN APPROVED SUMP (15" IN DIAMETER X 16" DEEP WITH HITTED COVER) HAVING A SUMP PUMP THAT DISCHARGES INTO AN APPROVED DISPOSAL BUILDING CODE REQUIRMENTS

SYSTEM. (SN) SLAB NOTES

- ALL CONCRETE SLABS ARE NOMINAL 4" THICK WITH 6"X6" 10/10 ULF ADDED TO EXTERIOR AND GARAGE SLABS. TIE EXTERIOR SLABS TO MAIN FOUNDATION WITH 44 RODS AT 12" O.C. WITH EXP. JOINTS SLOPE ALL SLABS FOR PROPER DRAINAGE.
- ONLY GRAVEL OR CRUSHED ROCK ALLOWED AS FILL UNDER ALL SLABS, 4" (MIN) SLAB MUST BE DAMP PROOFED OR WATERPROOFED DEPENDING ON PRESENCE OR

ABSENCE OF GROUND WATER

(FJ) FLOOR JOISTS 1 - FLOOR JOISTS AT 16" O.C. (MAX), UNLESS NOTED OTHERWISE. 2 - ALL FLOOR JOISTS TO BE IZ SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.

PP) PORCH PIERS

- I PROVIDE TREATED ENGINEERED BEAM ON 6"X6" TREATED POSTS (OPT. 8X8 HOLLOW FLUTED STL COL) ON 8" MIN. DIAMETER PIERS. (SEE PLAN FOR PIER LOCATION AND FOOTING SIZES) 2 - BOTTOM OF FOOTING MUST BE $24^{\prime\prime}$ (MIN) INTO SOLID SOLI AND $30^{\prime\prime}$ (MIN) BELOW FINISH GRADE
- ON UNDISTURBED SOIL 3 - PROVIDE APPROVED POST SHOES AND CAPS. 4 - SEPARATE PIER FROM ANY SLAB TOUCHING IT WITH EXPANSION JOINTS.

3 - PROVIDE DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS.

- BEAMS SHALL BE SIZED AS NOTED AT ON PLAN. 2 PROVIDE 3" DIA. X 158 LB. PIPE COLUMNS. 3 PROVIDE 30" \times 30" \times 12" THICK COLUMN FOOTINGS, UNLESS NOTED OTHERWISE.
- 4 NAIL IX3 TO BOTTOM OF JOISTS ON BOTH SIDES OF ALL BEAMS. 5 MINIMUM BEAM BEARING SHALL BE 3" ON CONCRETE. 6 BEAM POCKET SHALL ALLOW I" CLEARANCE AROUND BEAM TO ALLOW ADJUSTMENT, SHIMMING AND EXPANSION.
- I SHIM MIN. BEAM WITH STEEL SHIMS AND GROUT IN PLACE. ALL STEEL SHALL BE FACTORY PRIME PAINTED.
- PI) PIPE COLUMN SUPPORT FOR BEAMS 1- PIPE COLUMN SHALL BE A MINIMUM SIZE OF 3" DIA. X 1.58 LBS. PER FOOT. 2- COLUMNS SHALL REST ON OTHER BEAMS, FOUNDATIONS, PIERS OR ISOLATED PADS. 3- CHECK PLAN FOR LOCATION OF COLUMNS FOR SIZE OF ISOLATED PADS. 4- IF "PI" RESTS ON OR SUPPORTS WOOD, SIZE PLATES AND PROVIDE BLOCKING SO THAT THE MAXIMUM PSI DOES NOT EXCEED THE COMPRESSIVE STRENGTH OF THE WOOD PERPENDICULAR TO

6- PROVIDE APPROVED TIES AT ALL CONNECTIONS TO PREVENT MOVEMENT DUE TO WIND 4 SEISMIC

(EF) ELECTRIC FURNACE FIREPLACE SHALL BE AN APPROVED MANUFACTURED PREFAB UNIT. BUILDER OR OWNER TO 1- PROVIDE HI-EFFICIENCY ELECTRIC FURNACE OR HEAT PUMP. HEATING CONTRACTOR SHALL PROVIDE HEAT LOSS AND GAIN CALCULATIONS, DUCT LAYOUT AND SIZE UNITS. 2- PROVIDE 50 GALLON ELECTRIC WATER HEATER

3- PROVIDE EXPANSION TANK FOR WATER HEATERS ABOVE 30 GALLONS.

ELEVATION NOTES

4- PROVIDE FLOOR DRAIN. SLOPE SLAB TOWARD.

(GN) GRADE NOTES I - TOP OF FOUNDATION SHALL BE 8" (MIN) ABOVE FINISH GRADE AT ALL POINTS. - BOTTOM OF FOOTING SHALL BE 30" (MIN) BELOW FINISH GRADE AT ALL POINTS. 3 - FINISH GRADE SHALL SLOPE AWAY FROM BUILDING 6" FOR A DISTANCE OF 101-0" (MIN) 4 - IMPERVIOUS SURFACES WITHIN 101-0" OF BUILDING FOUNDATION SHALL BE SLOPED 2-PERCENT

(MIN) AWAY FROM BUILDING.

I- DROP FOOTING AS REQUIRED ANON INCREASE HEIGHT OF POUR TO MAINTAIN BOTTOM OF FOOTING AND 30" (MIN) BELOW FINISH GRADE AND 24" (MIN) INTO UNDISTURBED SOLID SOIL DROP DISTANCE TO BE IN MULTIPLES OF 6" INCREMENTS.

- PROVIDE GUTTER, DOWN SPOUTS AND ELBOWS TO WITHIN 6" FROM GRADE AT BOTTOM TO

2 - DO NOT CONNECT DOWN SPOUTS OR DRAIN TILE TO SANITARY SEWER (PC) PORCH COLUMNS

I - PROVIDE APPROVED POST SHOE WITH 1/2" DIA. X 12" ANCHOR BOLTS SET 8" IN CONCRETE FOR ALL PORCH AND DECK COLUMNS. 2 - WHERE PORCH COLUMN 9179 ON WOOD PORCH FLOOR PROVIDE APPROVED TIE BETWEEN COLUMN AND PORCH STRUCTURE OR PIER BELOW. 3 - PROVIDE APPROVED POST CAPS FOR ALL PORCH AND DECK COLUMNS TO PREVENT

(FL) FLASHING

- I PROVIDE GALY, METAL FLASHING AT ALL MEETING LINES WHERE ROOFING MEETS 2 - WALLS, DORMERS, FLUES, OR OTHER ROOFS. PROVIDE PROPER FLASHING AND DRIP EDGE AROUND ALL OTHER OPENINGS. 3 - SEE ROOFING NOTES ON LAST PAGE FOR VALLEYS.
- (ML) MASONRY LINTEL SIZES
- 2 OPENININGS 41-1" TO 1'-0" WIDE: 5"X4"X5/16" STEEL ANGLE 3 - OPENININGS 11-1" TO 111-0" WIDE: 6"×4"×3/8" STEEL ANGLE 4 - OPENININGS 111-1" TO 161-0" WIDE: 6"×4"×1/2" STEEL ANGLE

1 - OPENININGS UP TO 41-0" WIDE: 3-1/2"XX3-1/2"X1/4" STEEL ANGLE

GENERAL DEMOLATION NOTES

STRUCTURE UNTIL NEW PERMANENT SUPPORT IS IN PLACE.

- 1 ALL HATCHED WALLS, DOORS, AND WINDOWS ARE TO BE REMOVED. 2 - CONTRACTOR TO INSTALL TEMPORARY SHORING AS REQ'D. TO SUPPORT
- 3 REMOVE EXISTING ROOF FRAMING AS INDICATED BY DASHED AREAS ON PLAN. 4 - REMOVE EXISTING SIDING MATERIAL AS REQ'D. AND PREPARE FOR NEW PER PLAN.

GENERAL RENOVATION NOTES

- 1- CONTRACTORS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. 2- ALL NEW INTERIOR WALLS TO BE 2X4 STUDS (3 1/2") FA 16" O.C. W/ IN" GYP. BRD.
- 3- ALL AREAS DISTURBED BY CONSTRUCTION WHICH ARE TO REMAIN UNTOUCHED ARE TO BE RETURNED TO ORIGINAL CONDITION 4- STRUCTURAL HEADERS \$ BEAMS (2) 2XIO'S (MIN) \$ POSTS 2-STUD (MIN) S.Y.P. #2

(UNLESS NOTED OTHERWISE) FINISH NOTES

1 - NEW CEILING TO BE 1/2" GYP. BRD 2 - ALL GYP, BRD, TO BE PAINTED. 3 - FLOORING TO BE INSTALLED IN FINISH AREAS (PER OWNER)

LISE MOISTURE RESISTANT GYP BRD E PLUMBING FIXTURES

4 - ALL FINISH SELECTIONS PER OWNER DOOR NOTES

1 - ALL DOORS TO BE PRE-HUNG. 2 - ALL DOORS \$ FRAMES TO MATCH EXISTING BUILDING STANDARD.

1 - VERIFY SIZE OF EXISTING ELECTRIC 4 WATER SERVICE AND UPGRADE AS REQUIRED TO ACCOMMODATE NEW ADDITION 2 - INSTALL NEW HYAC \$ WATER HEATER AS REQUIRED TO ACCOMMODATE NEW ADDITION

- 2009 INTERNATIONAL RESIDENTIAL CODE
- 2008 NATIONAL ELECTRICAL CODE 2009 UNIFORM PLUMBING CODE 2009 INTERNATIONAL BUILDING CODE

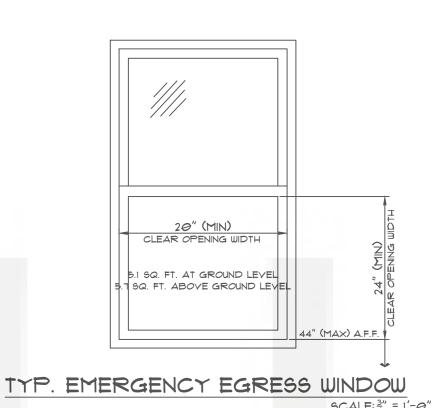
SIMPLIFIED BRACING METHOD

- SEE NOTES AND DETAILS SHEET A2
- THE EXISTING BUILDING WITH THE PROPOSED MODIFICATIONS COMPLIES WITH THE LATERAL BRACING PROVISIONS OF SECTION R602.10 OF THE INTERNATIONAL RESIDENTIAL CODE, 2009 EDITION OR SECTION 2305 OF THE INTERNATIONAL BUILDING CODE, 2009 EDITION.

DESIGNED IN ACCORDANCE WITH FOLLOWING CODES AND ORDINANCES

ENGINEERED LUMBER REQUIREMENTS

- ALL ENGINEERED LUMBER 4 1-JOIST TO BE TRUS JOIST MACMILLAN OR EQUAL PSL - PARALLAM E: 2.0 × 10" PSI FB = 2,900 PSI F, = 290 PSI
- LVL MICROLLAM E: 1. 9 10" PSI FB: 2600 PSI F,: 285 PSI L9L - TIMBERSTRAND E : 1.55 × 10" PSI FB : 2,325 PSI FV = 310 PSI I-JOIST - TJI SERIES 110, 210, 230, 360, 560, OR EQUAL PER MFG. DRAWINGS



US Office:

PixelArch ltd.

- Canada main office: +1 604-243-3666
- 1442 N. Dale Ave. Anaheim, CA 92801 +1 909-939-2585
- Toll free: 1 844 729 0009 Email: info@pixelarchpro.com

Project Name and Address

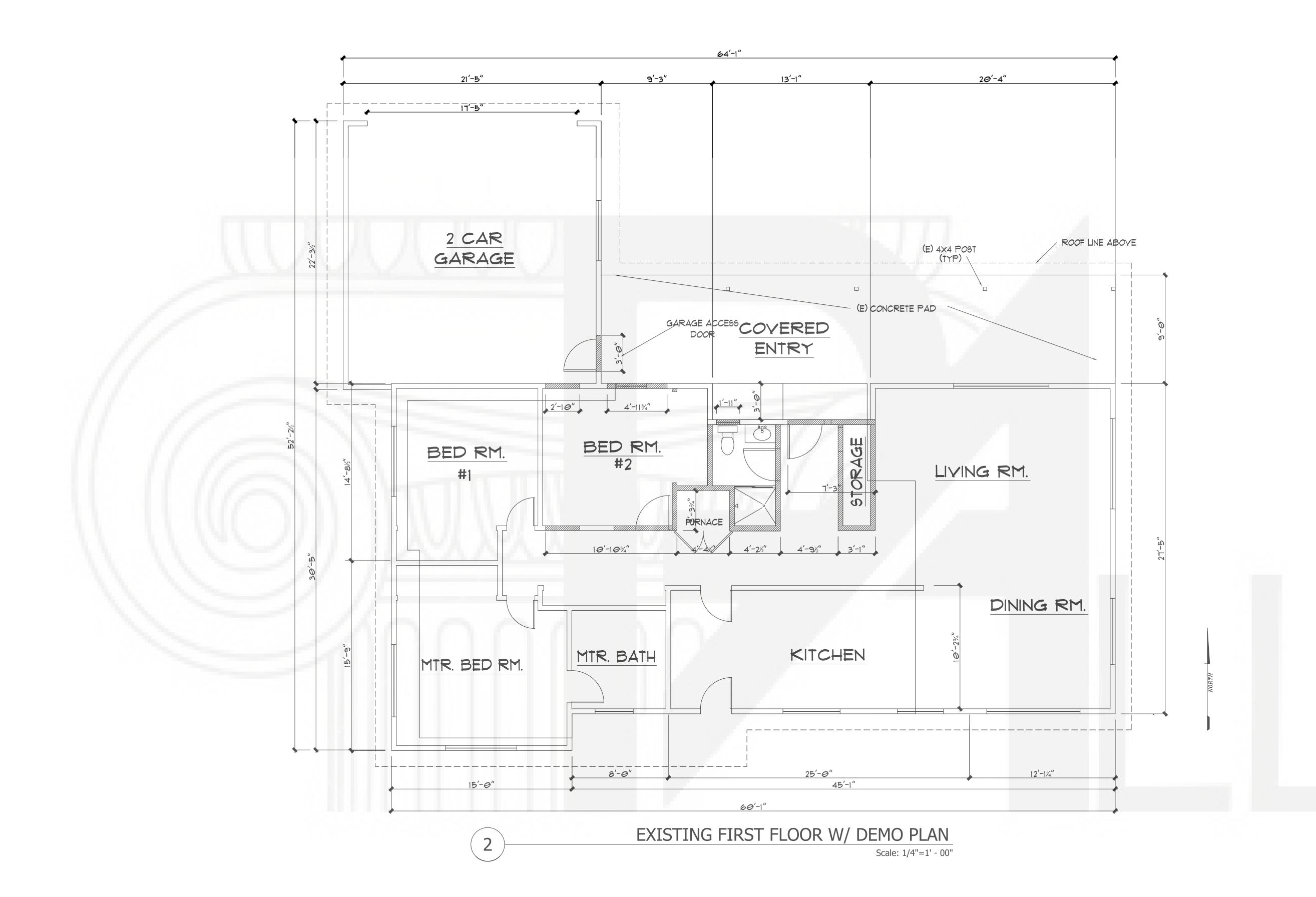
BOGHOSIAN SASHA & MARKRIT

1636 SHERIDAN RD GLENDALE, CA 91206

Date Revision/Issue 2 of 14 GENERAL ARCHITECTURAL NOTES APRIL 20, 2017 PAGE NO. AS NOTED COPYRIGHT THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH, REMAINS THE PROPERTY OF PIXELARCH LTD. PERMISSION FOR USE OR REPRODUCTION IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN PERMISSION WITH OWNER, PIXELARCH LTD.



3313 Plateau Blvd. Coquitlam BC V3E 3B8



PixelArch ltd.

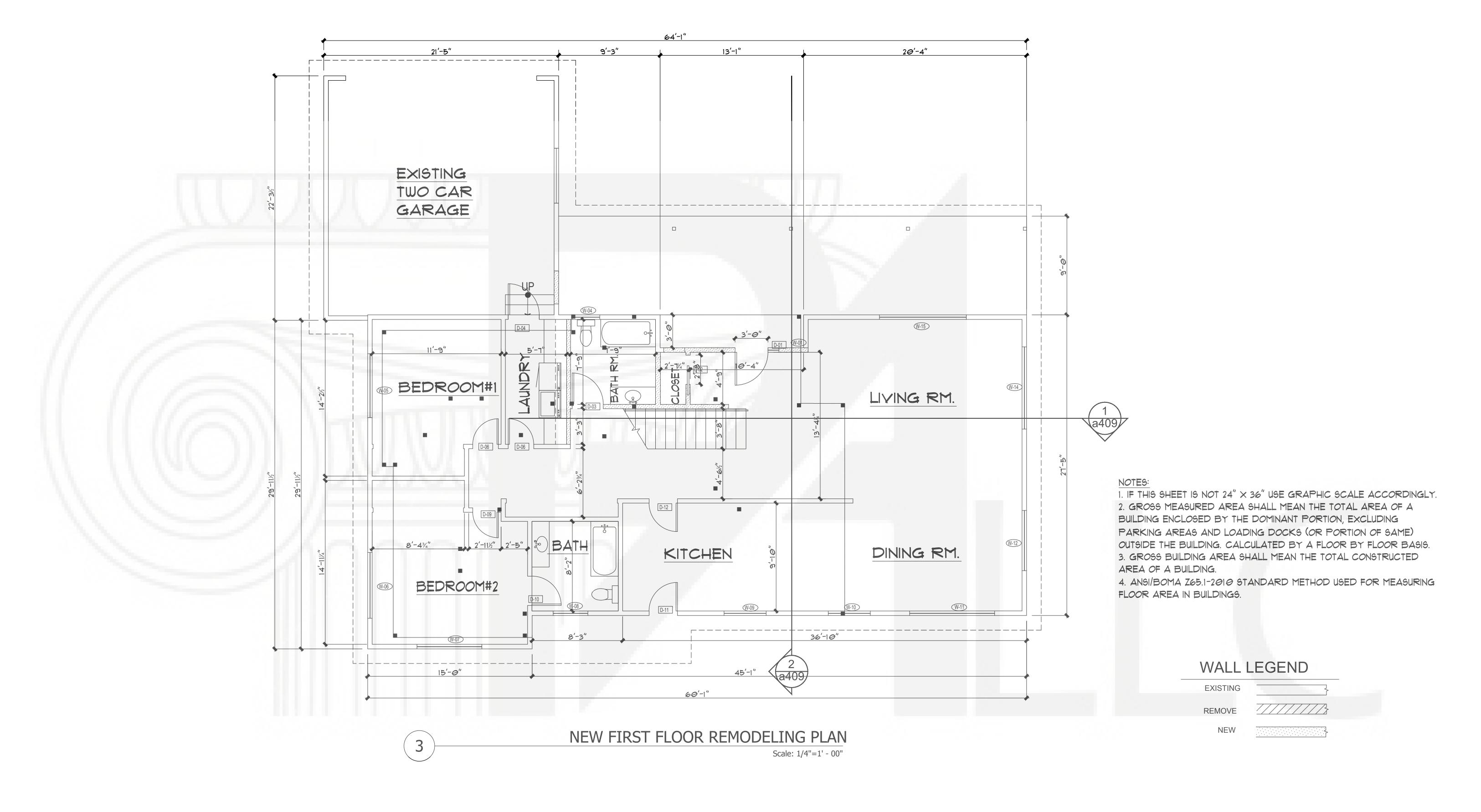
Canada main office:
3313 Plateau Blvd. Coquitlam BC V3E 3B8
+1 604-243-3666

US Office:
1442 N. Dale Ave. Anaheim, CA 92801
+1 909-939-2585
Toll free: 1 844 729 0009 Email: info@pixelarchpro.com

Project Name and Address:

BOGHOSIAN SASHA & MARKRIT

DRAWING TITLE: EXISTING FIRST FLOOR	R W/ DEMO PLAN	Sheet $3 ext{ of } 14$	No.	Revisio
APRIL 20, 2017 Scale 1/4" = 1'-00"	PAGE NO. :	a403		
OF PIXELARCH LTD. PI	ERMISSION FOR	SERVICE AND AS SUCH, REMAINS THE PROPERTY USE OR REPRODUCTION IS LIMITED AND CAN BE SION WITH OWNER, PIXELARCH LTD.		



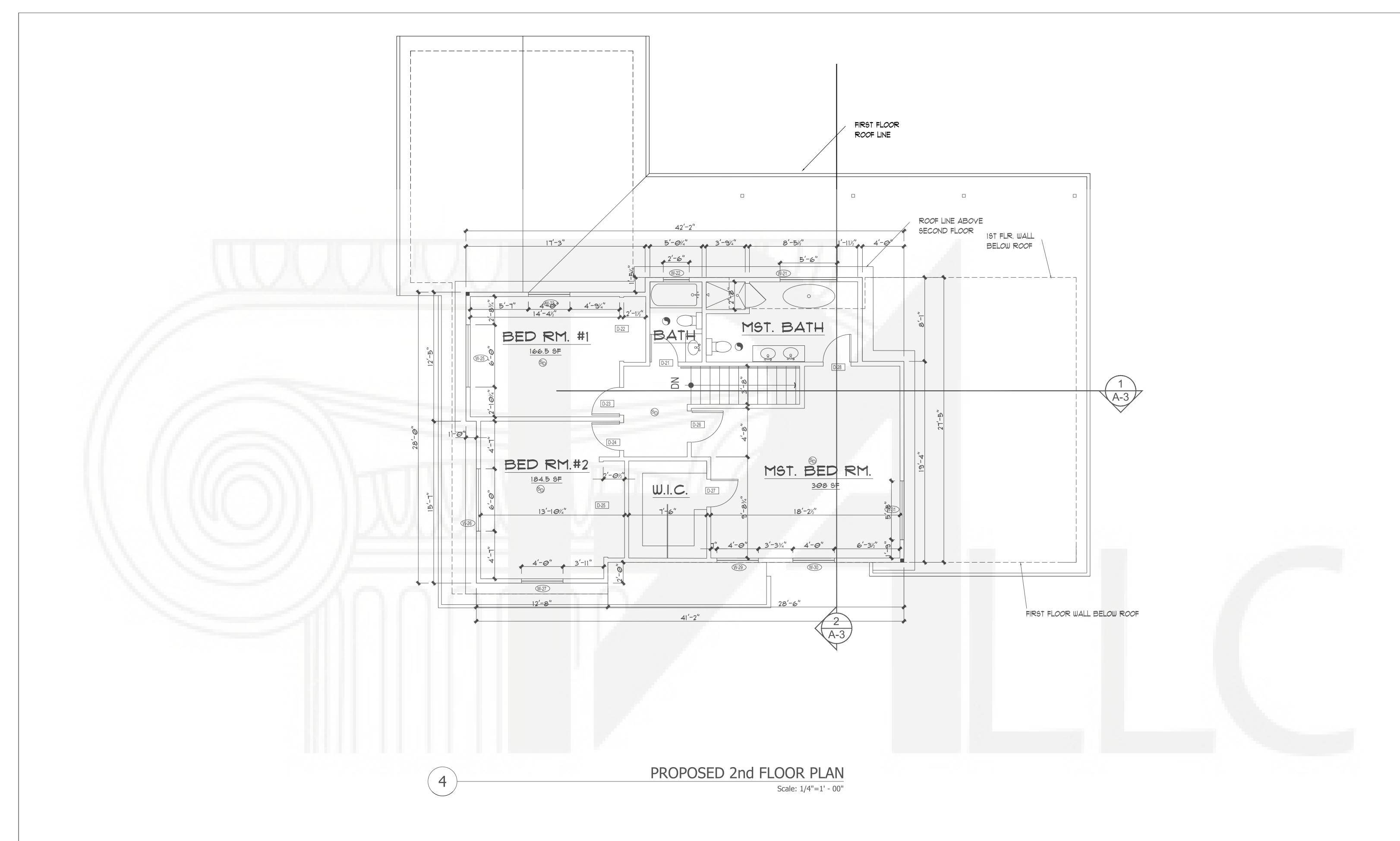


PixelArch ltd. Canada main office: 3313 Plateau Blvd. Coquitlam BC V3E 3B8 +1 604-243-3666 US Office: 1442 N. Dale Ave. Anaheim, CA 92801 +1 909-939-2585 Toll free: 1 844 729 0009 Email: info@pixelarchpro.com

Project Name and Address:

BOGHOSIAN SASHA & MARKRIT

DRAWING TITLE: PROPOSED 15	ST FLOOR PLAN	Sheet	No.	Revision/Issue	Date
		4 of 14			
Date APRIL 20, 2017	PAGE NO. :	0.401			
AS NOTED		a404			
COPYRIGHT					
THIS DRAWING IS AN I	NSTRUMENT OF S	ERVICE AND AS SUCH, REMAINS THE PROPERTY			
OF PIXELARCH LTD. P	ERMISSION FOR I	JSE OR REPRODUCTION IS LIMITED AND CAN BE			
EXTENDED ONLY BY W	RITTEN PERMISSI	ON WITH OWNER, PIXELARCH LTD.			





Canada main office: 3313 Plateau Blvd. Coquitlam BC V3E 3B8 +1 604-243-3666

US Office:

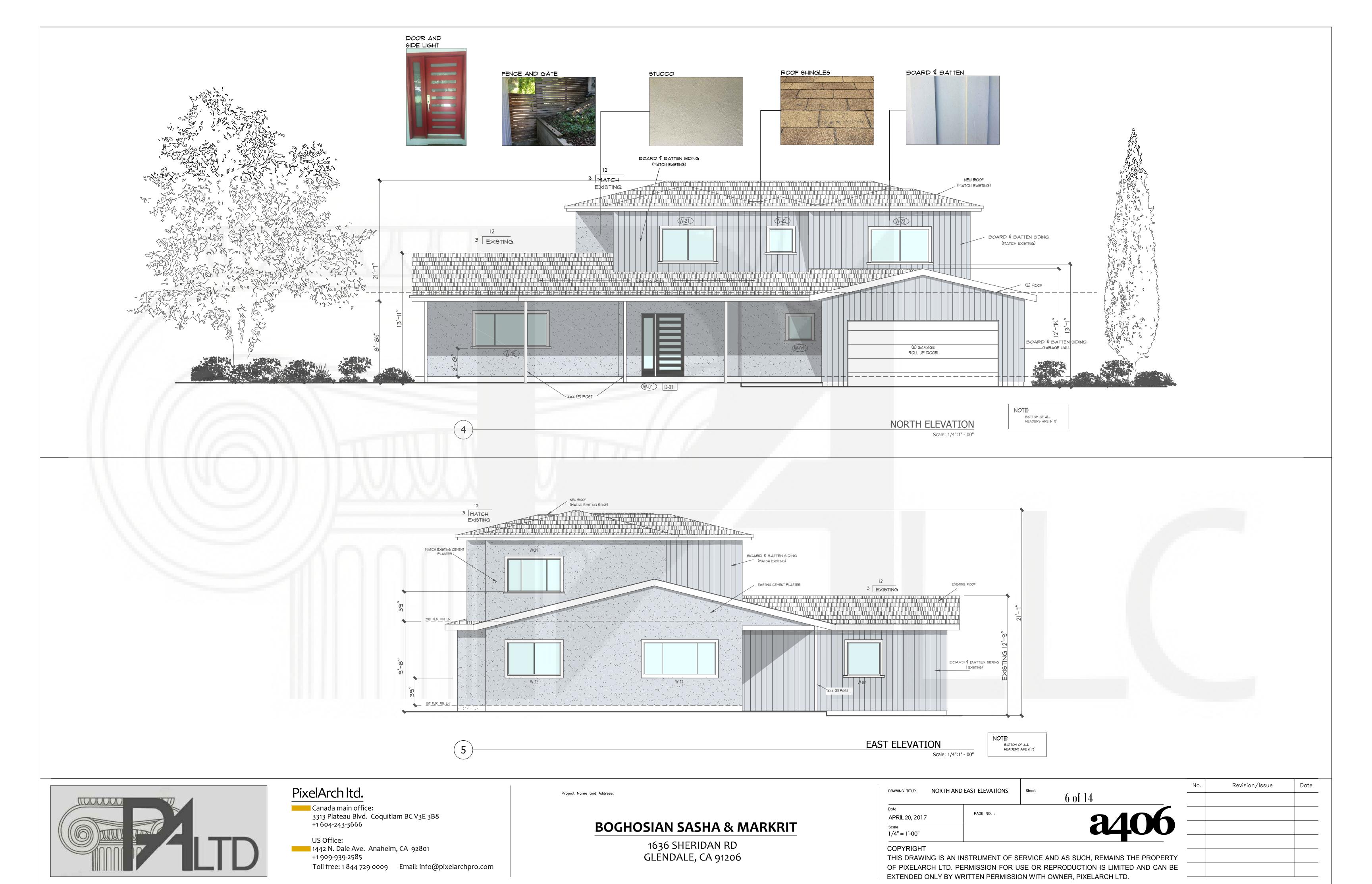
1442 N. Dale Ave. Anaheim, CA 92801

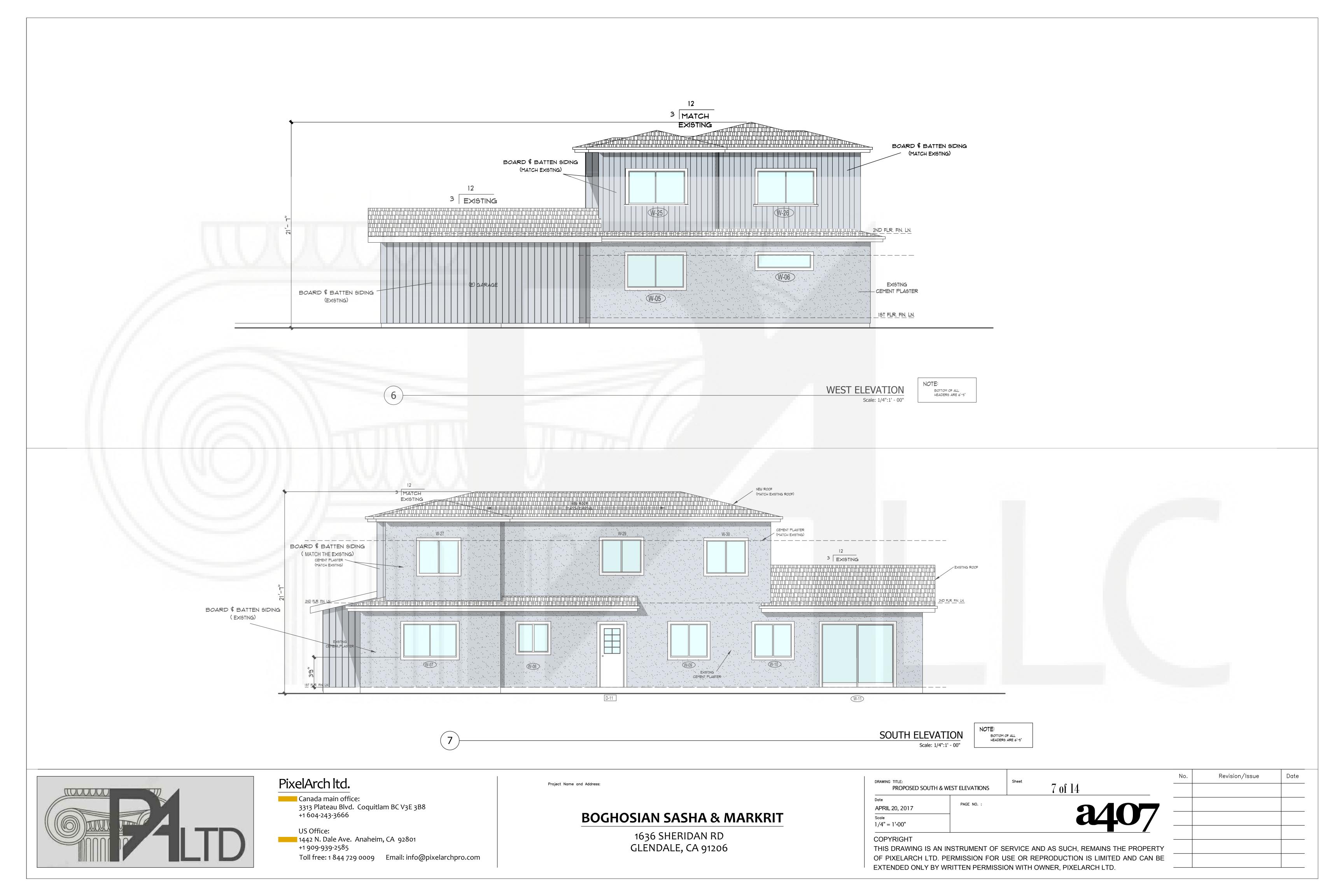
1442 N. Dale Ave. Anaheim, CA 92801 +1 909-939-2585 Toll free: 1 844 729 0009 Email: info@pixelarchpro.com

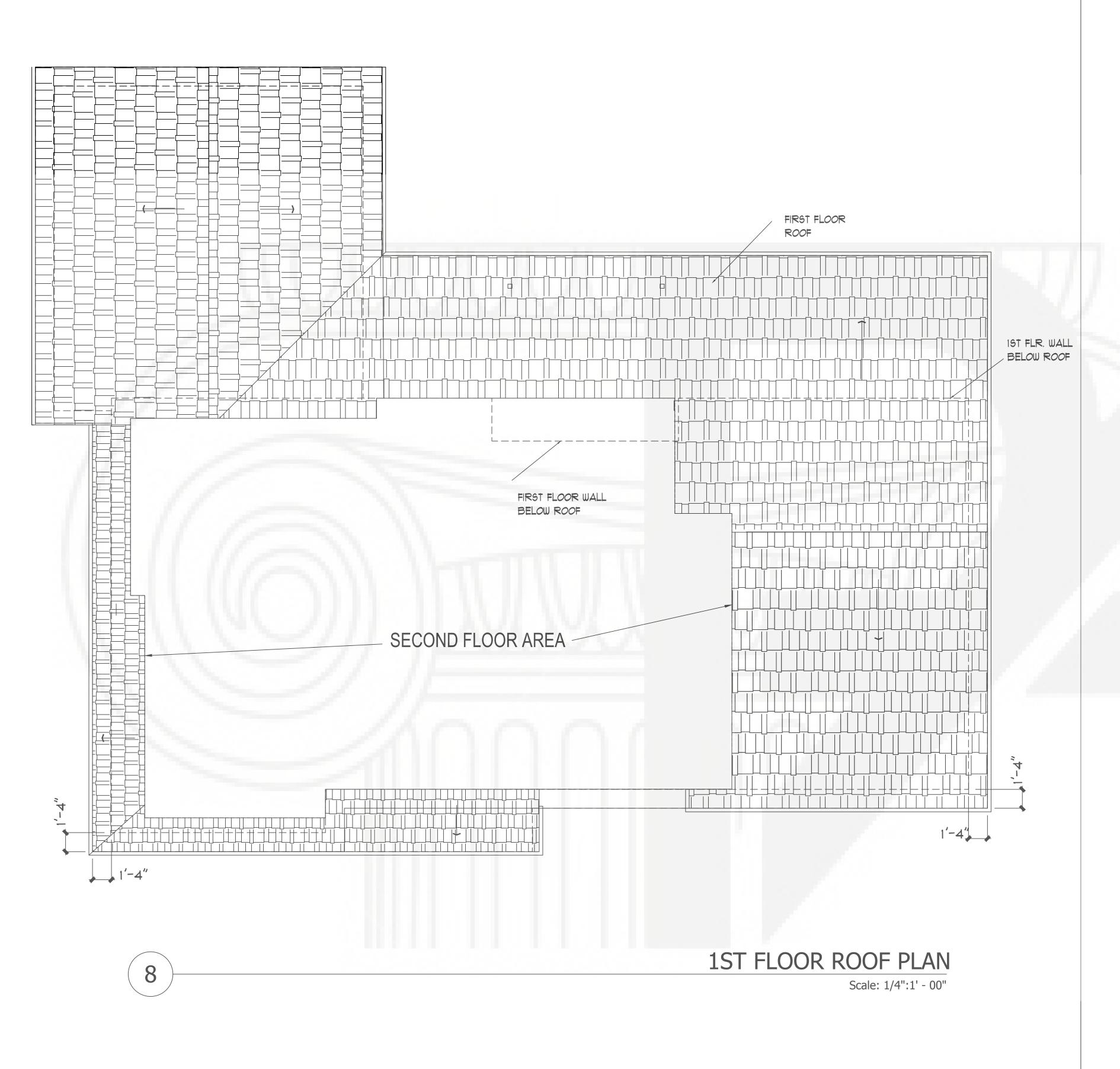
Project Name and Address:

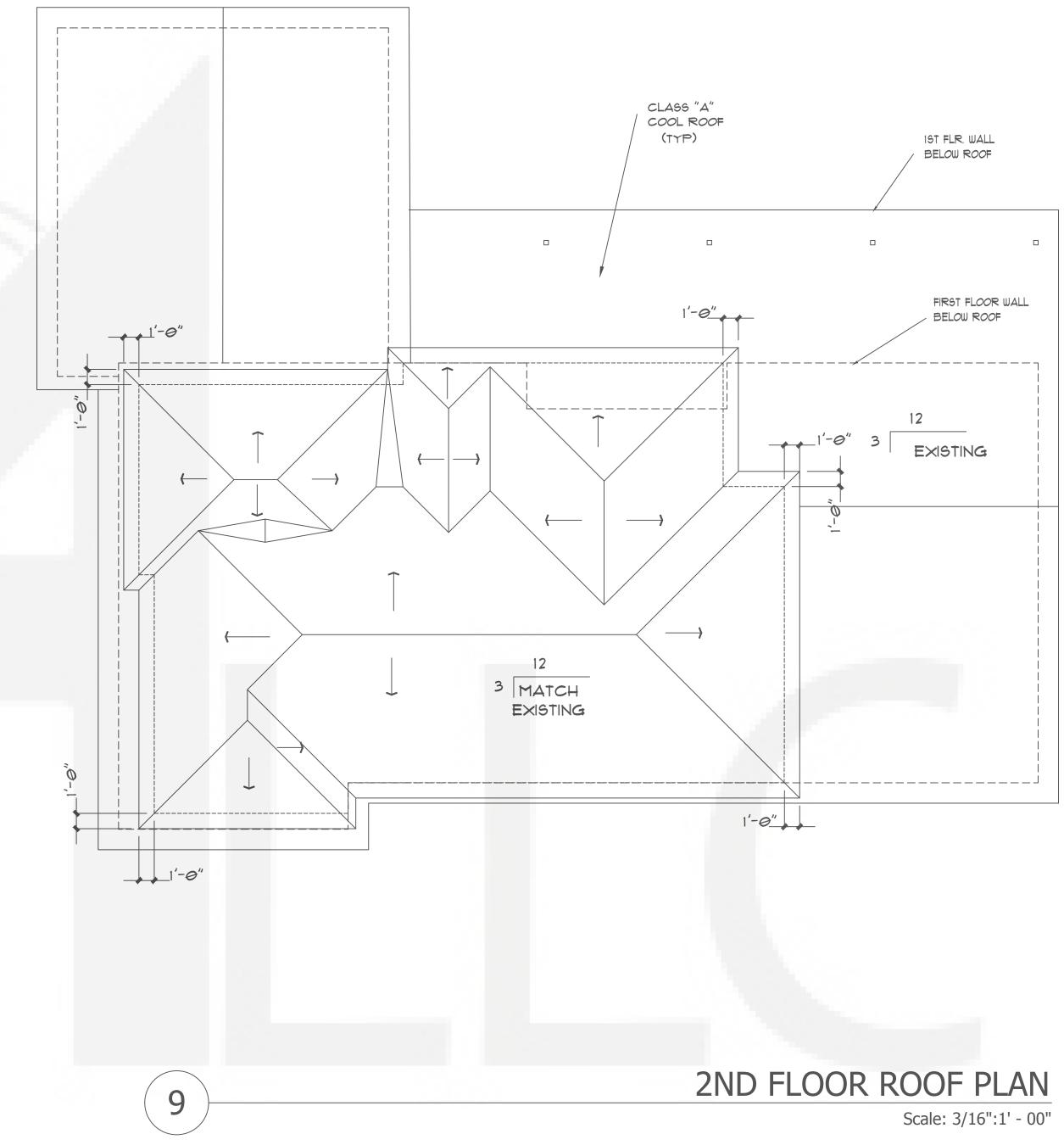
BOGHOSIAN SASHA & MARKRIT

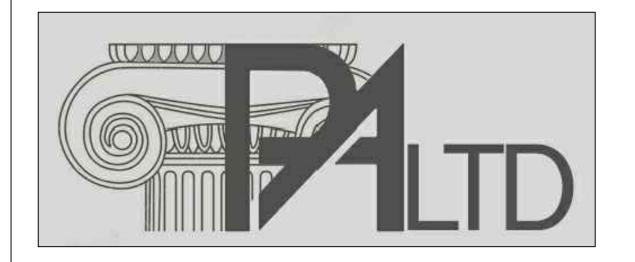
DRAWING TITLE: DROPOSED	2ND FLOOR PLAN	Sheet	No.	Revision/Iss
	ZND FLOOR FLAN	5 of 14		
APRIL 20, 2017	PAGE NO. :			
Scale 1/4" = 1'-00"		a405		
COPYRIGHT				
	INSTRUMENT OF	SERVICE AND AS SUCH, REMAINS THE PROPERTY		
		USE OR REPRODUCTION IS LIMITED AND CAN BE		
EXTENDED ONLY BY W	VRITTEN PERMIS	SION WITH OWNER, PIXELARCH LTD.		











PixelArch Itd.

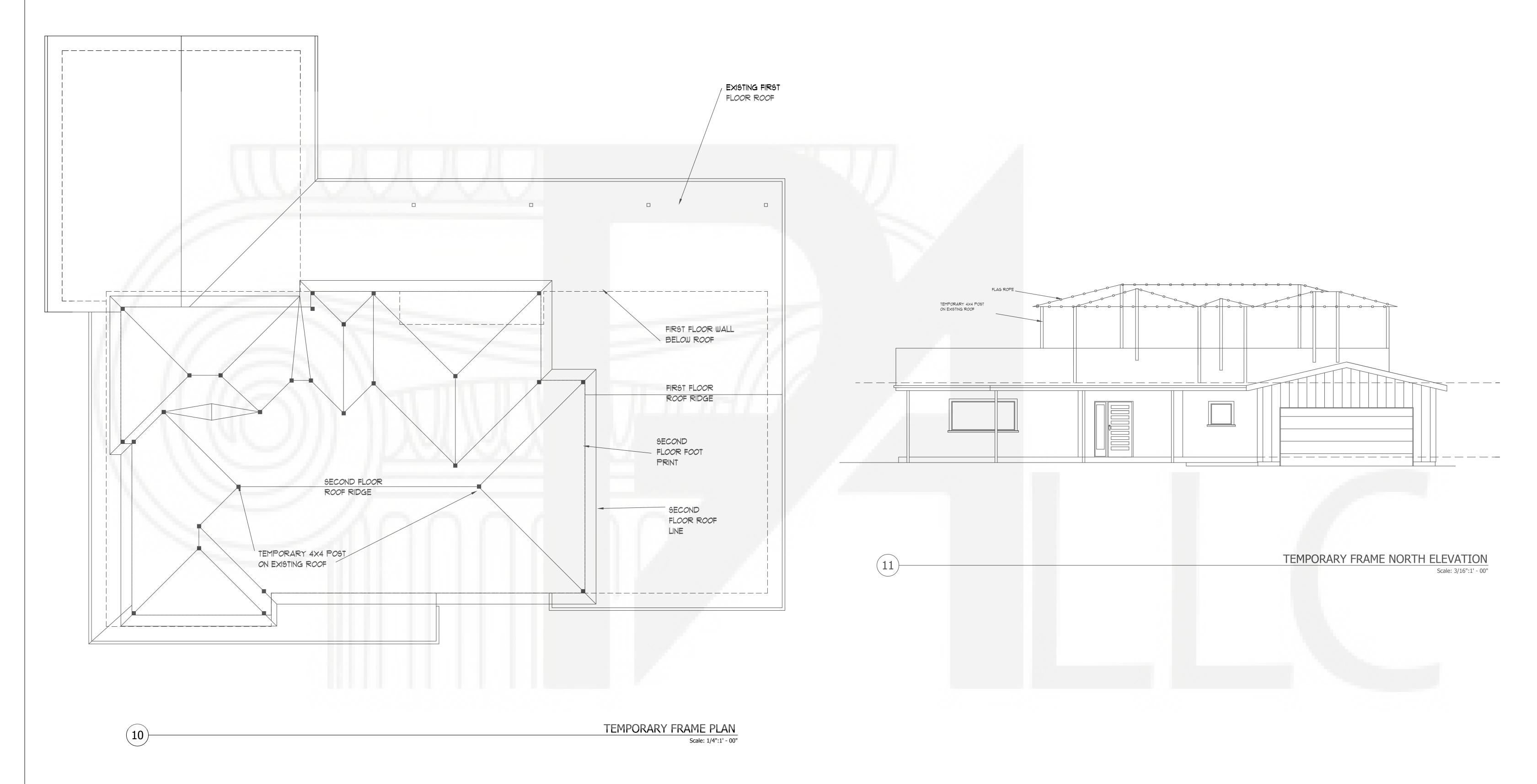
Canada main office: 3313 Plateau Blvd. Coquitlam BC V3E 3B8 +1 604-243-3666

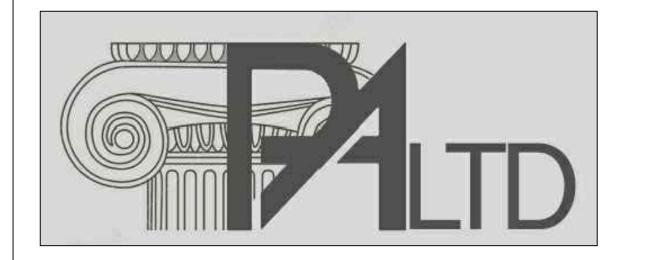
US Office:

1442 N. Dale Ave. Anaheim, CA 92801
+1 909-939-2585 Toll free: 1 844 729 0009 Email: info@pixelarchpro.com

BOGHOSIAN SASHA & MARKRIT

DRAWING TITLE: ROOF PLAN	S	Sheet	No.	Revision/Issue	Date
		8 of 14			
Date	PAGE NO. :				
APRIL 20, 2017	TAGE NO				
Scale		a4() 8			
AS NOTED					
COPYRIGHT					
THIS DRAWING IS AN I	NSTRUMENT OF S	ERVICE AND AS SUCH, REMAINS THE PROPERTY			
OF PIXELARCH LTD. P	ERMISSION FOR U	JSE OR REPRODUCTION IS LIMITED AND CAN BE			
EXTENDED ONLY BY W	RITTEN PERMISSI	ON WITH OWNER, PIXELARCH LTD.			





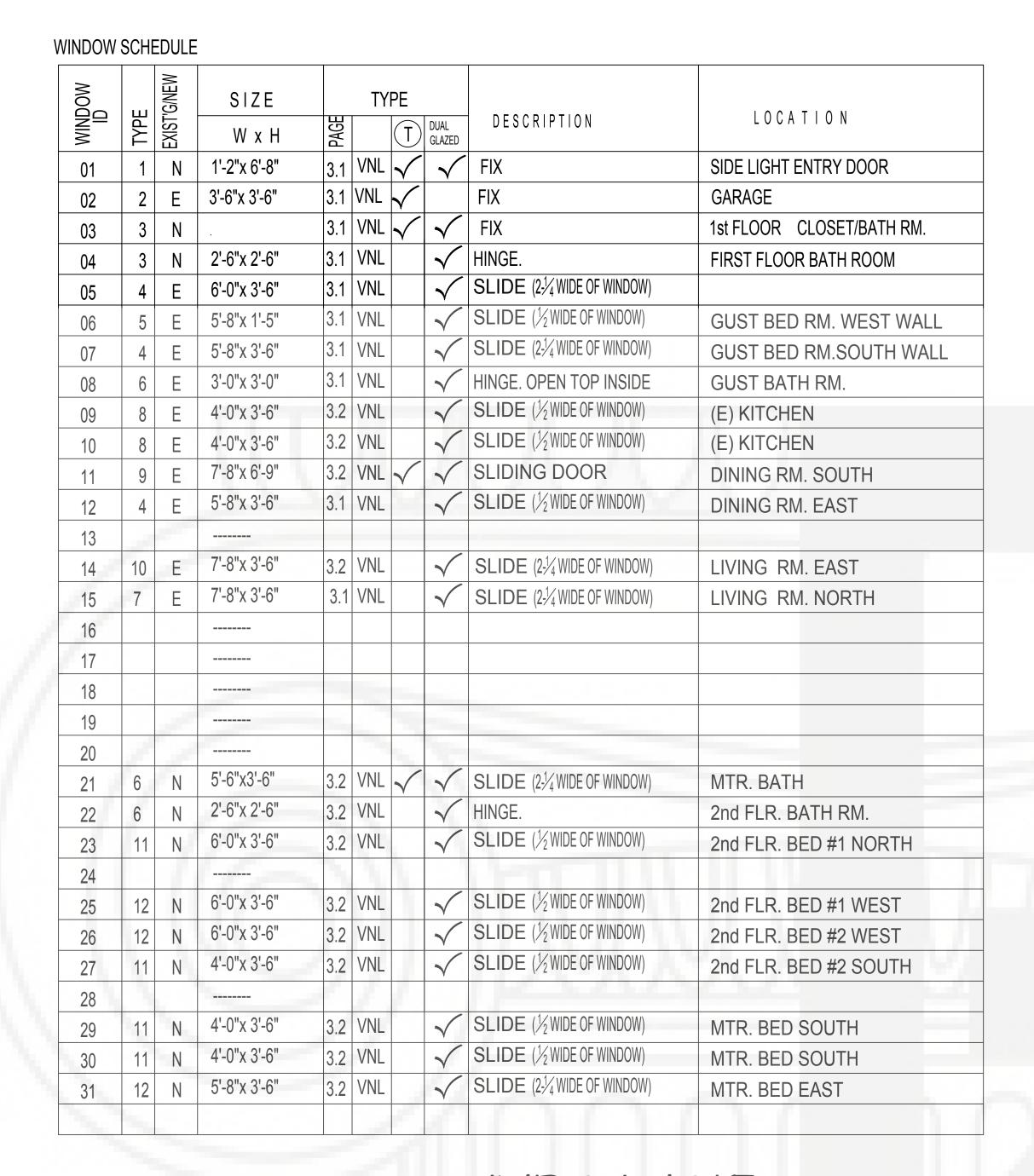
PixelArch ltd. Canada main office: 3313 Plateau Blvd. Coquitlam BC V3E 3B8 +1 604-243-3666 US Office: 1442 N. Dale Ave. Anaheim, CA 92801 +1 909-939-2585

Toll free: 1 844 729 0009 Email: info@pixelarchpro.com

Project Name and Address:

BOGHOSIAN SASHA & MARKRIT

DRAWING TITLE: TEMPORA	RY FRAME PLAN	Sheet	No.	Revision/Issue
		9 of 14		
Date	PAGE NO. :		-	
APRIL 20, 2017	TAGE NO	34(X)		
Scale AS NOTED		aluy		
COPYRIGHT				
THIS DRAWING IS AN	INSTRUMENT OF S	SERVICE AND AS SUCH, REMAINS THE PROPERTY		
OF PIXELARCH LTD.	PERMISSION FOR U	JSE OR REPRODUCTION IS LIMITED AND CAN BE		
EXTENDED ONLY BY	WRITTEN PERMISSI	ON WITH OWNER, PIXELARCH LTD.		



3'-6" 2'-10" 2'-6" <u>1'−2"</u> w. 3"4½"3"4½"3"4½"3" TYPE 3 W-04 4½"3"4½"3"4½"3" TYPE 2 W-02 TYPE 1 W-01 DOOR #1 TYPE 5'-8" 3'-6" TYPE 4 W-05 W-07 W-12 TYPE 5 W-06 5'-6" 7'-6" TYPE 6 W-08 TYPE 7 W-15 3'-0"

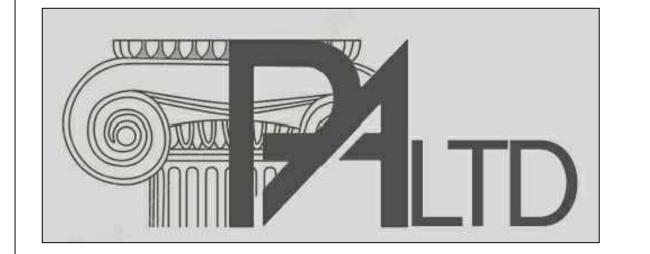
WINDOW NOTE:

BED ROOM WINDOW SHALL HAVE A
MINIMUM OPENABLE AREA OF 5.75Q. FT.
MINIMUM NET HEIGHT OF 24" AND MINIMUM NET
WIDE OF 20"

ALL WINDOWS ARE DUAL GLAZED

T ALL SLIDING AND SWINGING DOORS ARE DUAL GLAZED AND TEMPERED

FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR



PixelArch ltd.

Canada main office:
3313 Plateau Blvd. Coquitlam BC V3E 3B8
+1 604-243-3666

US Office:

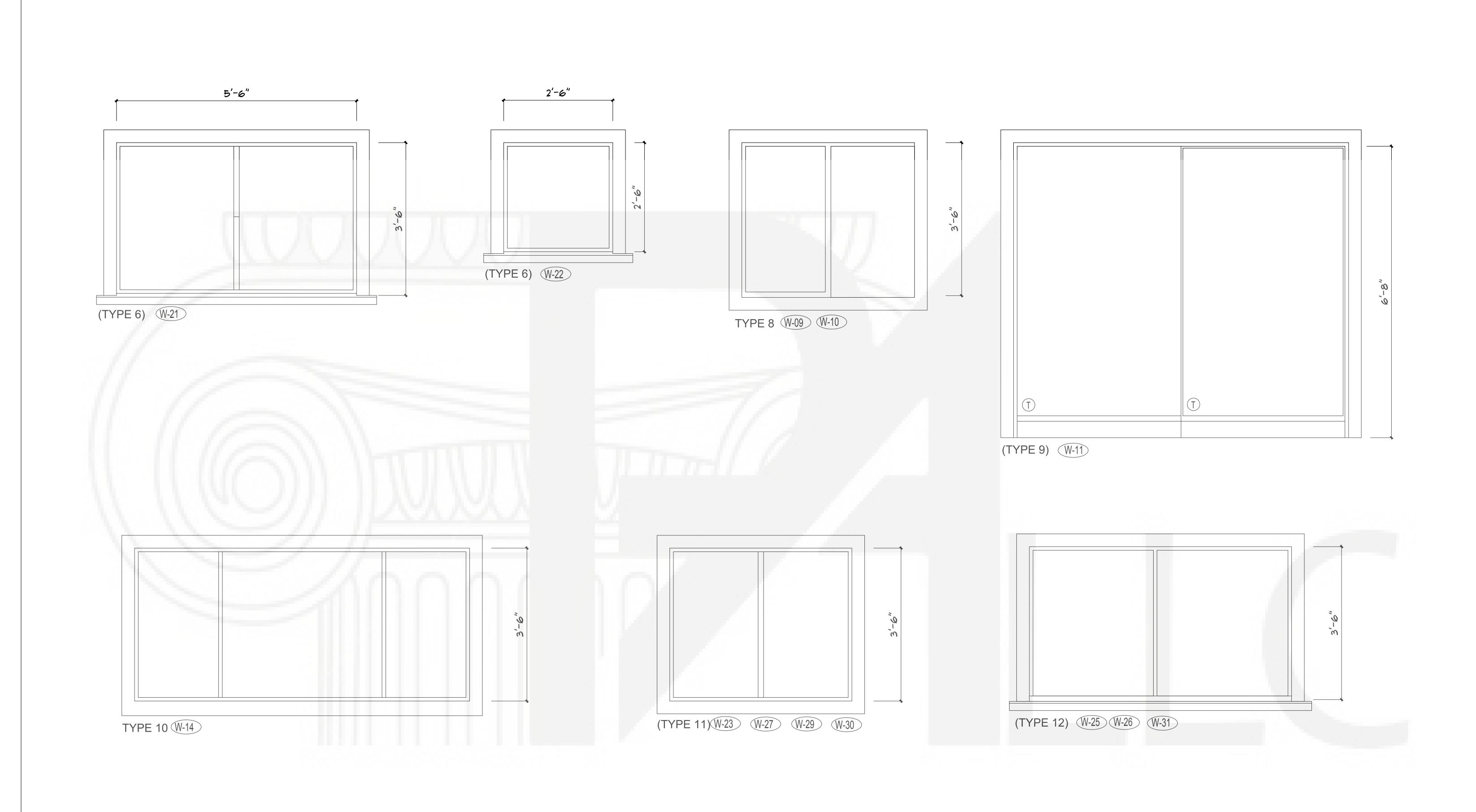
1442 N. Dale Ave. Anaheim, CA 92801
+1 909-939-2585

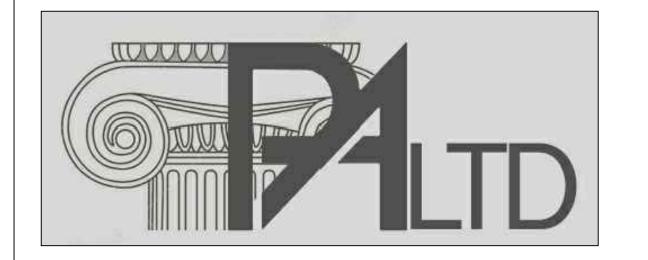
Toll free: 1 844 729 0009 Email: info@pixelarchpro.com

Project Name and Address:

BOGHOSIAN SASHA & MARKRIT

		Sheet	No.	Revision/Issue	Date
DRAWING TITLE: WINDOWS SCH	HEDULE	10 of 14			
Date APRIL 20, 2017	PAGE NO. :	0.410			
Scale 1/4" = 1'-00"		a410			
 COPYRIGHT		-			
THIS DRAWING IS AN	INSTRUMENT OF	SERVICE AND AS SUCH, REMAINS THE PROPERTY			
OF PIXELARCH LTD. F	PERMISSION FOR	USE OR REPRODUCTION IS LIMITED AND CAN BE			
EXTENDED ONLY BY W	RITTEN PERMISS	ION WITH OWNER, PIXELARCH LTD.			



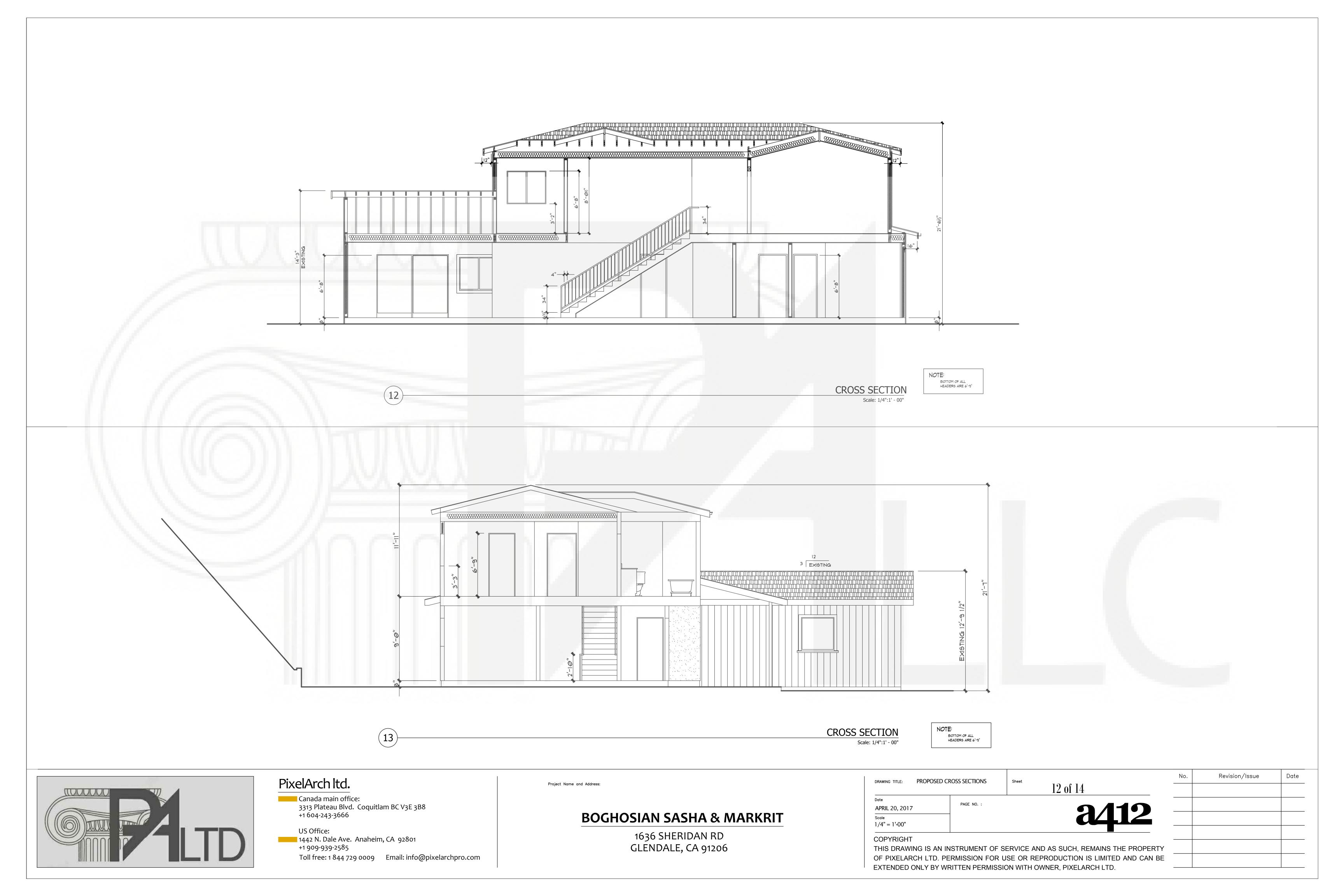


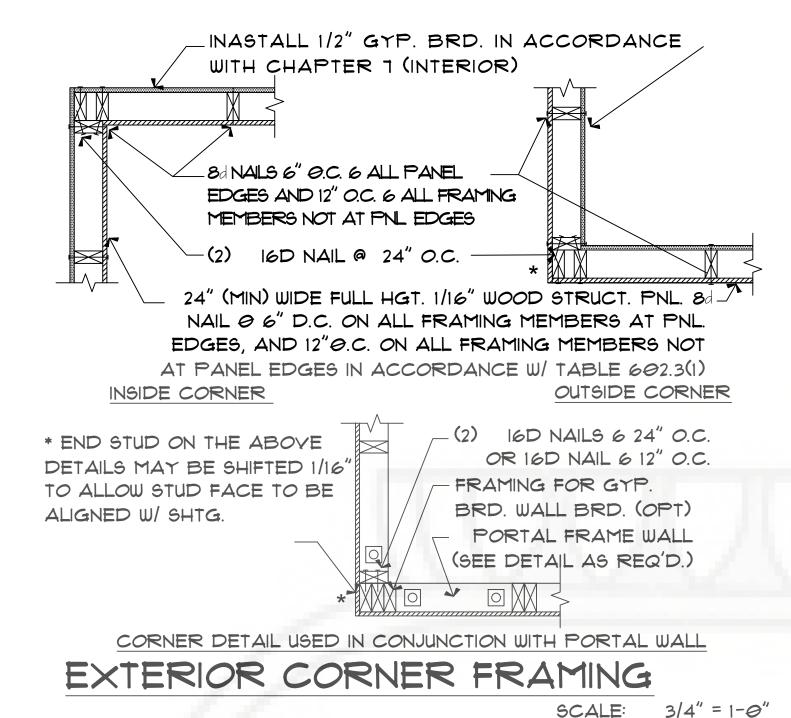
PixelArch ltd. Canada main office: 3313 Plateau Blvd. Coquitlam BC V3E 3B8 +1 604-243-3666 US Office: 1442 N. Dale Ave. Anaheim, CA 92801 +1 909-939-2585 Toll free: 1 844 729 0009 Email: info@pixelarchpro.com

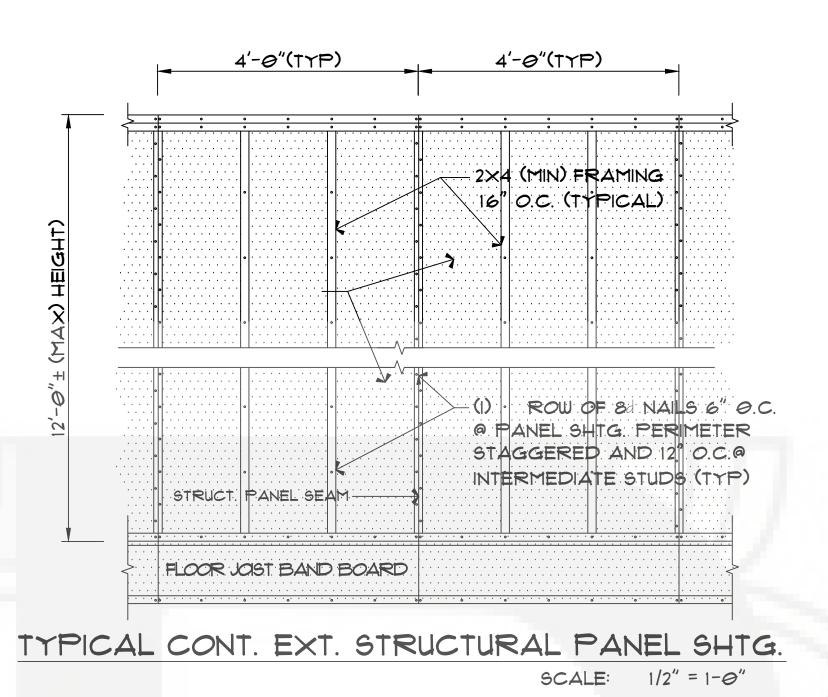
Project Name and Address:

BOGHOSIAN SASHA & MARKRIT

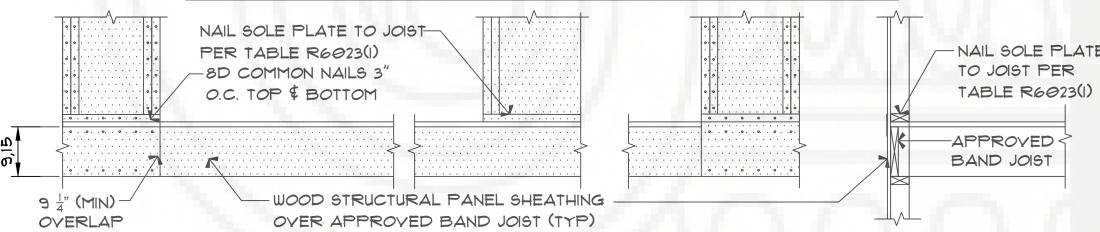
DRAWING TITLE: WINDOWS SCHI	-DIII F	Sheet	No.	Revision/Issue
		11 of 14		
APRIL 20, 2017	PAGE NO. :	0/11		
Scale 1/4" = 1'-00"	-	a411		
COPYRIGHT				
THIS DRAWING IS AN II	NSTRUMENT OF S	SERVICE AND AS SUCH, REMAINS THE PROPERTY		
OF PIXELARCH LTD. PE	ERMISSION FOR	JSE OR REPRODUCTION IS LIMITED AND CAN BE		
EXTENDED ONLY BY W	RITTEN PERMISS	ON WITH OWNER, PIXELARCH LTD.		







NAIL SOLE PLATE TO JOIST PER TABLE R602.3(I) NAIL SOLE PLATE TO JOIST PER FRAMING ANCHORS 610LB UPLIFT 1610LB TABLE R6023(I) LATERAL APPROVED BAND JOIST WOOD STRUCTURAL PANEL SHEATHING OVER APPROVED BAND JOIST (TYP) RAISED WOOD FLOOR OR SECOND FLOOR (FRAMING ANCHOR OPTION) NAIL SOLE PLATE TO JOIST-- NAIL SOLE PLATE PER TABLE R6023(I) -8D COMMON NAILS 3" TO JOIST PER TABLE R6023(1) O.C. TOP \$ BOTTOM



RAISED WOOD FLOOR OR SECOND FLOOR (WOOD STRUCTURAL PANEL OVERLAP OPTION

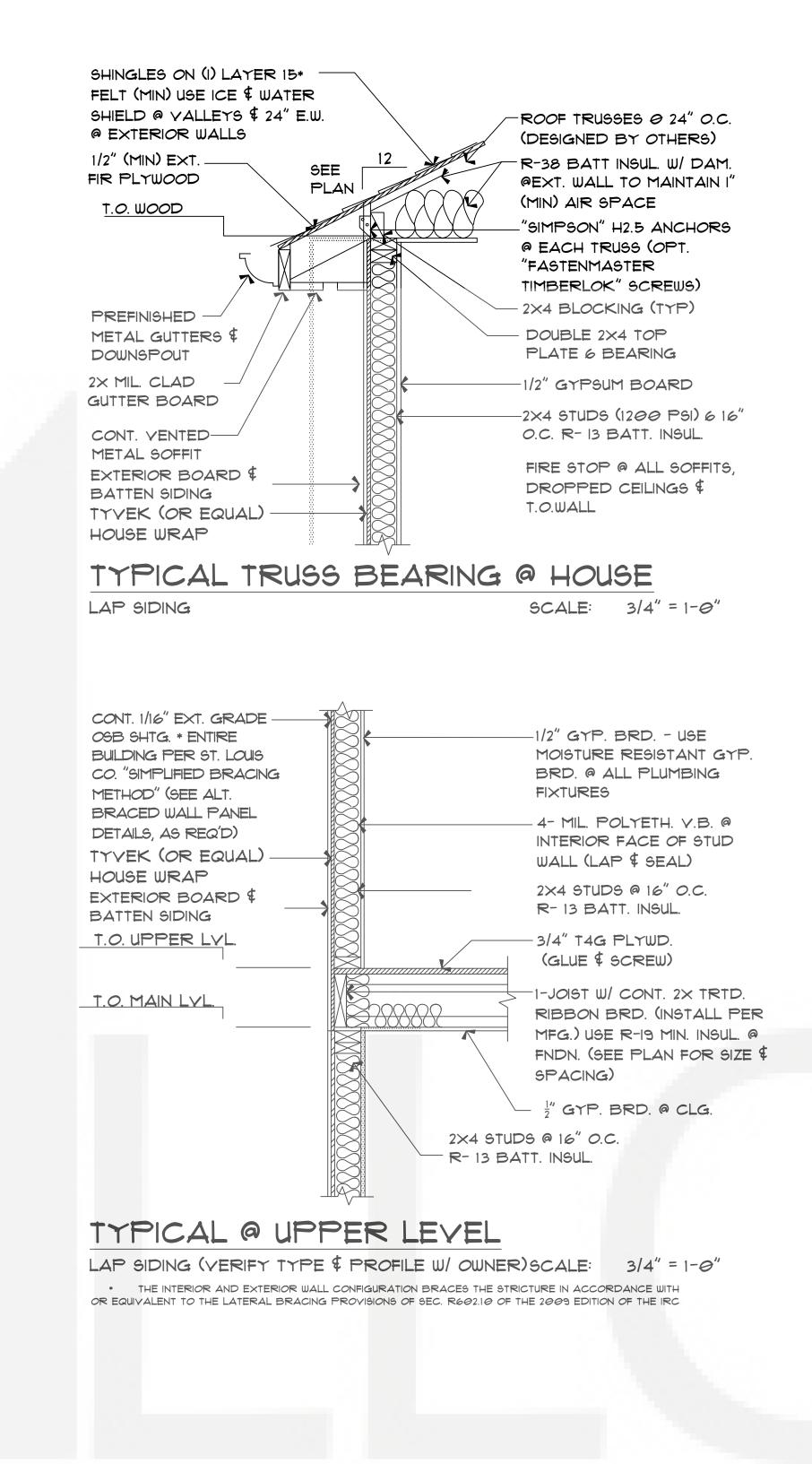
OUTSIDE ELEVATION

SIDE ELEVATION

CRIPPLE WALL FRAMING CONSISTING OF STUD FRAMING, SINGLE BOTTOM PLATE, AND DOUBLE TOP PLATE MAY BE ADDED TO THE TOP OF THE NARROW PORTAL WALL AS LONG AS THE COMBINED HEIGHT OF THE TWO WALLS IS LESS THAN OR EQUAL TO 12-FEET AND THE TWO WALLS ARE STRAPPED TOGETHER ON THE INTERIOR SIDE WITH A 16-GA. METAL 1-1/2" WIDE X 21" LONG STRAP. 10-INCH (MIN) OF THE STRAP SHALL BE CONNECTED TO EACH WALL OR GABLE TRUSS WITH 9-16D NAILS FOR A TOTAL OF 18-16D NAILS IN THE ENTIRE STRAP. STRAPS SHALL BE LOCATED AT EACH END OF THE CONNECTED WALLS OR WALL AND GABLE TRUSS WHERE SPACE ALLOWS FOR THE 10-INCH LENGTH OF STRAP. THE SPACING BETWEEN THE STRAPS MAY NOT EXCEED 4-FEET ON CENTER. THE STRAPS SHALL NOT BE BENT HORIZONTALLY TO ACCOMMODATE WOOD FRAMING. IF APPLICABLE, NAILEERS SHALL BE ADDED TO ONE OF THE WALLS OR GABLE END USING A MINIMUM OF 9-16D NAILS TO CREATE THE VERTICAL PLANE NEEDED TO MOUNT THE STRAP.

SIMPLIFIED PORTAL WALL - FIGURE R602-10.10.3

SCALE: 1/2" = 1-0"





PixelArch ltd.

Canada main office: 3313 Plateau Blvd. Coquitlam BC V3E 3B8 +1 604-243-3666

US Office:

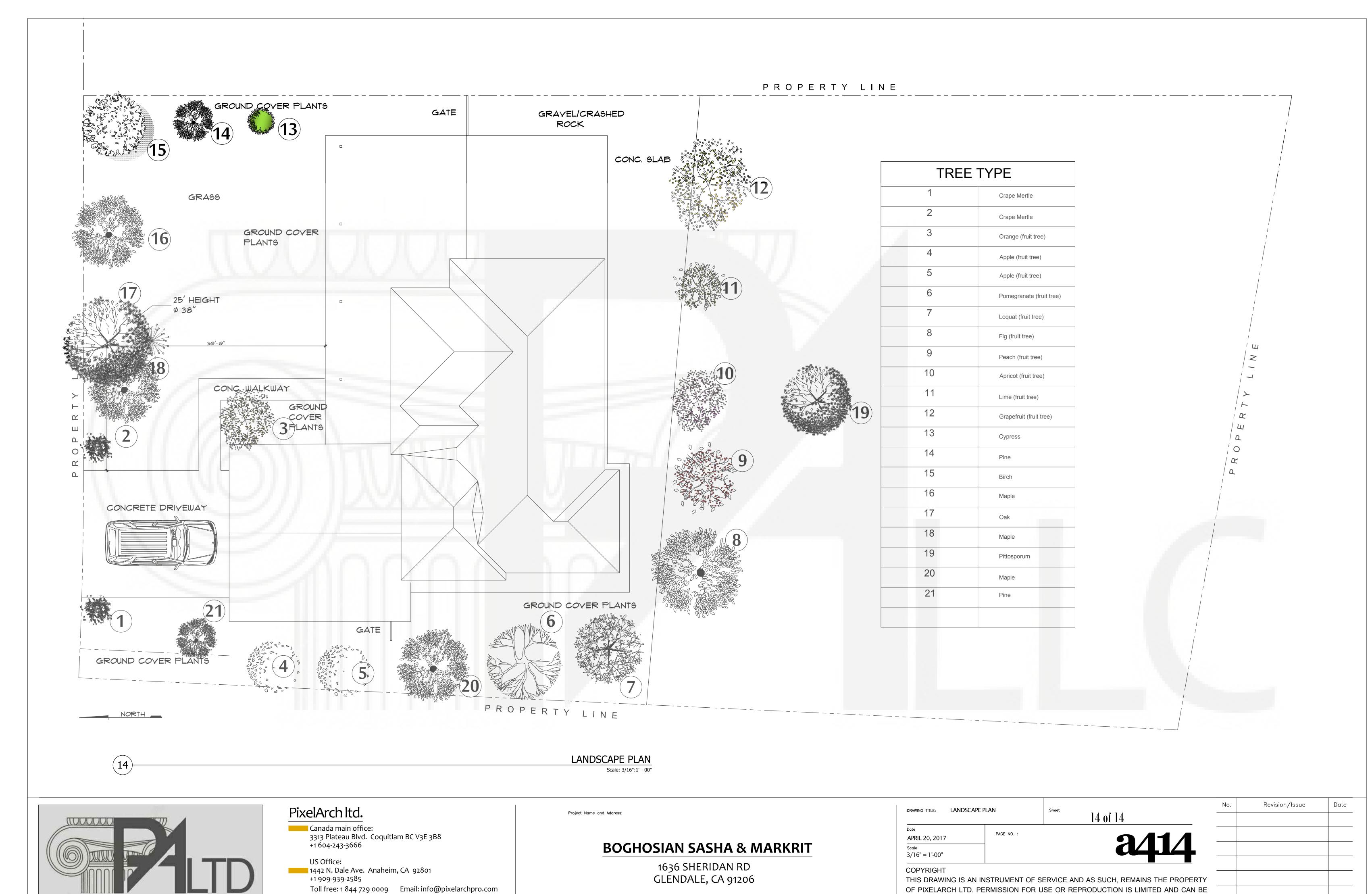
1442 N. Dale Ave. Anaheim, CA 92801
+1 909-939-2585

Toll free: 1 844 729 0009 Email: info@pixelarchpro.com

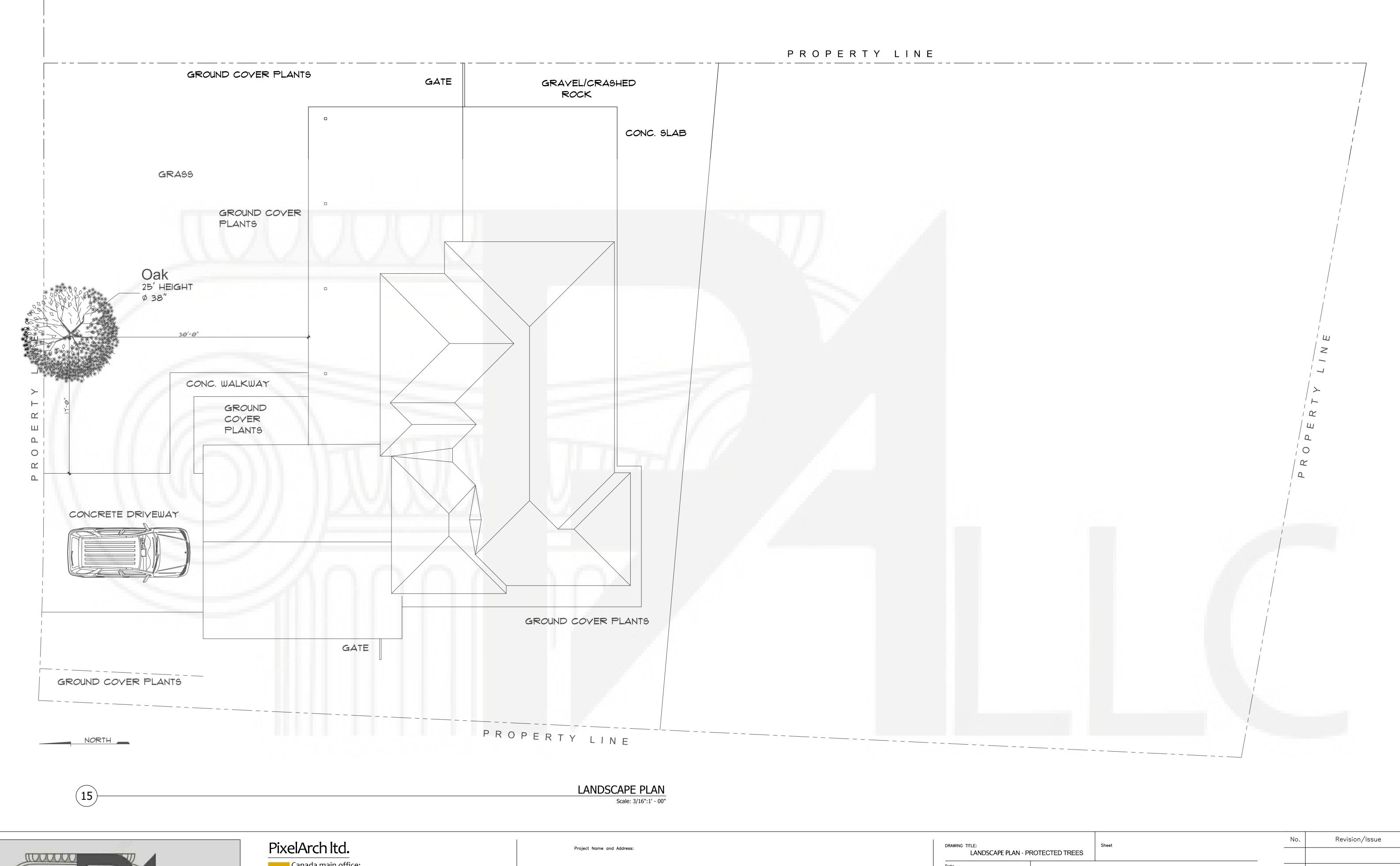
roject Name and Address:

BOGHOSIAN SASHA & MARKRIT

DRAWING TITLE: DETAILS DRA	wings	Sheet	No.	Revision/Issue	Date
		13 of 14			
Date	PAGE NO. :				
APRIL 20, 2017	TAGE NO	9/11			
Scale					
AS NOTED					
COPYRIGHT					
THIS DRAWING IS AN IN	NSTRUMENT OF S	ERVICE AND AS SUCH, REMAINS THE PROPERTY			
OF PIXELARCH LTD. PE	ERMISSION FOR U	ISE OR REPRODUCTION IS LIMITED AND CAN BE			
EXTENDED ONLY BY WI	RITTEN PERMISSI	ON WITH OWNER, PIXELARCH LTD.			



EXTENDED ONLY BY WRITTEN PERMISSION WITH OWNER, PIXELARCH LTD.





Canada main office:
3313 Plateau Blvd. Coquitlam BC V3E 3B8
+1 604-243-3666

US Office:
1442 N. Dale Ave. Anaheim, CA 92801
+1 909-939-2585

Toll free: 1 844 729 0009 Email: info@pixelarchpro.com

BOGHOSIAN SASHA & MARKRIT

1636 SHERIDAN RD GLENDALE, CA 91206

DRAWING TITLE: LANDSCAPE PLAN - PRO	TECTED TREES	Sheet	No.	
Date APRIL 20, 2017	PAGE NO. :	011		
Scale 3/16" = 1'-00"		4415		
COPYRIGHT				
THIS DRAWING IS AN INST	TRUMENT OF SE	ERVICE AND AS SUCH, REMAINS THE PROPERTY		1
OF PIXELARCH LTD. PERM	MISSION FOR U	SE OR REPRODUCTION IS LIMITED AND CAN BE		

EXTENDED ONLY BY WRITTEN PERMISSION WITH OWNER, PIXELARCH LTD.