

SITE PLAN
Scale: 1/4" = 1' - 00"

LEGAL DESCRIPTION
SINGLE FAMILY RESIDENTIAL PROPERTIES
PARCEL NUMBER 5659-011-011
TRACT # 22281
LOT 51
ZONING GLR1RY

TOTAL SQUARE FOOTAGE

EXISTING BUILDING	FIRST FLOOR	1,665 SQ.FT.
	SECOND FLOOR	0.00 SQ.FT.
PROPOSED	FIRST FLOOR	0.00 SQ.FT.
	SECOND FLOOR	1,111 SQ.FT.
GARAGE		477 SQ.FT.
BALCONY		0.00 SQ.FT.
COVERED PATIO		384 SQ.FT.
ACCESSORY BUILDING		0.00 SQ.FT.
PROPERTY		13,796 SQ.FT.

RATIO OF LOT COVERAGE TO LOT AREA

FIRST FLOOR	1,665 SQ.FT.
GARAGE	477 SQ.FT.
LOT AREA (PROPERTY)	13,796 SQ.FT.
$\frac{(1665+477) \times 100}{13,796} = 15.26\%$	

RATIO OF FLOOR AREA TO LOT AREA

FIRST FLOOR	1,665 SQ.FT.
SECOND FLOOR	1,111 SQ.FT.
TOTAL	2,776 SQ.FT.
$\frac{(1665+1111) \times 100}{13,796} = 20.12\%$	

LANDSCAPE AREA

LOT AREA (PROPERTY)	13,796 SQ.FT.
FIRST FLOOR	1,665 SQ.FT.
GARAGE	477 SQ.FT.
HARDSCAPE AREA	1,503 SQ.FT.
COVERED PATIO	384 SQ.FT.
LANDSCAPE AREA	13,796 - 4,029 = 9,767 SQ.FT.

RATIO LANDSCAPE AREA TO LOT AREA

$\frac{(9767) \times 100}{13,796} = 70.80\%$	
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DRAWING TITLE: SITE PLAN AND LEGAL DESCRIPTION Sheet 1 of 14
Date: APRIL 20, 2017 PAGE NO.:
Scale: AS NOTED
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No.	Revision/Issue	Date

RESIDENTIAL NOTES

NOTE THESE NOTES ESTABLISH MINIMUM STANDARDS FOR RESIDENCES. THERE MAY BE SOME THAT HAVE NO APPLICATION TO THIS PARTICULAR JOB. IF THERE ARE ANY VARIANCES BETWEEN THESE NOTES AND NOTES FOUND ELSEWHERE IN THESE PLANS THEN WHICHEVER ARE THE MOST STRINGENT SHALL APPLY.

GENERAL

1. INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD EXCEEDING 200.
2. ALL EGRESS DOORS SHALL BE READY OPENABLE FROM NE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
3. PROVIDE 4" (MIN) CONCRETE STEP DOWN AT ALL HOUSE ACCESS DOORS.
4. ALL ACCESS DOORS SHALL BE 1 3/4" SOLID CORE.
5. ALL PATIO DOORS, SHOWER OR TUB DOORS OR ENCLOSURES, WINDOWS OVER TUBS, OR GLASS WITHIN 12" OF DOORS, SHALL BE FULLY TREATED, LAMINATED SAFETY, APPROVED WIRE GLASS, OR APPROVED SHATTER RESISTANT PLASTIC.
6. DROPPED CEILING BELOW WINDOW JOIST OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE CLEAR STOPPED AT 500 SQ. FT. INTERVALS AND PARALLEL TO FRAMING MEMBERS. A 2" X 4" MIN. ACCESS OPENING REQUIRED FOR ATTIC AREAS UNLESS HAVE A CLEAR HEIGHT OF AT LEAST 30". ACCESS DOORS IN DRAFTSTOPPING SHALL BE SELF-CLOSING AND OF APPROVED MATERIALS.

FOUNDATION

1. BOTTOM OF WALL FOOTINGS SHALL BE A MINIMUM OF 30" BELOW FINISH GRADE.
2. PROVIDE APPROVED "BIMBON" OR EQ. POST SHOE WITH 1/2" X 1/2" ANCHOR BOLT SET IN A MINIMUM OF 8" IN CONCRETE FOR ALL WOOD PORCH AND DECK POSTS.
3. GARAGE FLOOR SHALL SLOPE A MINIMUM OF 2" TO THE OVERHEAD DOOR.
4. PROVIDE 4" MINIMUM CONCRETE CURB IN GARAGE.
5. CONCRETE SHALL TEST 3,000 PSI (MIN) AT 28 DAYS. ALL CONCRETE SHALL BE AIR-ENTRAINED.
6. FINISH GRADES AT THE BUILDING SHALL BE A MINIMUM OF 8" BELOW THE TOP OF FOUNDATION FINISH GRADES SHALL SLOPE AWAY FROM NE BUILDING 6" FOR A DISTANCE OF 10'-0".

CONCRETE SLABS

1. CONCRETE FLOORS TO BE POURED ON 4" (MIN) OF GRAVEL OR CRUSHED STONE OVER UT VIRGIN (UNDISTURBED) SOIL. ANY FILL DEEPER THAN NE REQUIRED 4" SHALL ALSO BE GRAVEL OR CRUSHED STONE.
2. 6 MIL. POLYETHYLENE VAPOR BARRIER UNDER ALL GROUND SLABS.
3. SMOOTH TROUPEL FINISH ON ALL INTERIOR SLABS.
4. SLAB THICKNESS AND WIRE MESH (WUFAS) PER PLAN.
5. SLOPE FINISH AS REQUIRED FOR DRAINAGE.
6. EXTERIOR SLL TO BE SLOPED.
1. SLOPE EXTERIOR SLABS WITHIN 10'-0" OF BUILDING 2-PERCENT (MIN) AWAY FROM BUILDING.
2. SLOPE GARAGE SLAB 2" (MIN) TOWARD OVERHEAD DOOR.

CONCRETE

1. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 2500 PSI - BASEMENT SLABS 3000 PSI - FOUNDATION WALLS, PATIOS, STEPS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS 3500 PSI - PORCHES, WALKS, PATIOS, STAIRS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS.
2. CONCRETE FOR ALL BASEMENT WALLS, FOUNDATION WALLS, PORCHES, WALKS, PATIOS, STEPS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS SHALL BE AIR-ENTRAINED.
3. FOUNDATION TO BE WATERPROOFED WITH 6-MIL. POLYETHYLENE JOINTS TO BE LAPPED 6" AND SEALED PER MANUFACTURER'S INSTALLATION INSTRUCTION.
4. WATERPROOFING TO BE APPLIED FROM THE BOTTOM OF THE WALL TO AT LEAST 12" ABOVE THE WATER TABLE ELEVATION. THE REMAINDER OF THE WALL TO BE DAMPROOFED.
5. ALL JOINTS IN WALLS AND FLOORS TO BE WATER TIGHT.
6. DOWNSPUT DISCHARGE SHALL BE DIRECTED AWAY FROM FOUNDATION.
7. 6-1/2" PUMP DISCHARGE SHALL BE PIPED TO STORM DRAIN OR TO APPROVED WATER COARSE DISCHARGE TO OR WITHIN 10' OF A SIDEWALK, DRIVEWAY, STREET OR TO CREATE A NURFACE TO ADJACENT PROPERTY.
8. DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO AN APPROVED SUMP (5" IN DIAMETER X 18" DEEP WITH FITTED COVER) HAVING A 6-1/2" PUMP THAT DISCHARGES INTO AN APPROVED DISPOSAL SYSTEM.
9. PROVIDE WATERPROOFING MEMBRANE UNDER FLOOR SLAB OF POLYETHYLENE WITH JOINTS LAPPED A MINIMUM OF 6 INCHES AND SEALED.

CONCRETE

1. ALL FRAMING LUMBER SHALL BE MINIMUM 2002 NOS SOUTHERN YELLOW PINE (TYPICAL UNLESS NOTED OTHERWISE ON PLAN).
2. FLOOR JOISTS SHALL BE FASTENED TO PINDL SILL WITH THREE 5-PENNY NAILS AT EA. JOIST.
3. THE FLOOR JOIST TOGETHER WITH THREE 16-PENNY NAILS AT EACH TIE.
4. NAIL TO BOTTOM OF FLOOR JOIST ON EACH SIDE OF ALL STEEL BEAMS.
5. ALL EXTERIOR WALLS TO BE BRACED PER ST. LOUIS COUNTY'S SHIPULPED BRACING METHOD FOR ONE AND TWO FAMILY DWELLINGS WITH THE ENTIRE STRUCTURE IS SHEATHED WITH WOOD STRUCTURAL PANELS.
6. FIRE STOPPING SHALL BE PROVIDED AT ALL SORTS, DROP CEILING AND AT V-0" MAX. VERTICAL INTERVALS.
7. ALL LATHES SHALL BE TWO 20'S UNLESS OTHERWISE NOTED.
8. ALL EXPOSED MATERIALS FOR PORCHES, CARPORTS, SORTS, OVERHANGS, CARPORT CEILING, AND ETC. TO BE EXTERIOR GRADE MATERIALS.
9. SILL PLATE AND ALL OTHER WOOD IN CONTACT WITH CONCRETE SHALL BE TRO. MATERIAL.
10. CUTTING, NOTCHING, AND/OR BORING HOLES ON WOOD BEAMS, JOISTS, RAFTERS, OR STUDS SHALL NOT EXCEED THE LIMITATIONS NOTED IN SECTIONS 2502.02, 2602.02, AND 2602.16 OF 2009 IRC.
11. REINFORCEMENT OF STUDS SHALL BE DONE IN ACCORDANCE WITH SECTION 2602.03 2009 IRC.
12. NAILING AND FASTENING OF FLOOR, ROOFING, WALL, AND ROOF SHEATHING, AND GYPSUM CONSTRUCTION SHALL BE IN ACCORDANCE WITH TABLES R602.02 AND R602.3(2) OF 2009 IRC.
13. DRAFTSTOP FLOOR TRUSSES EVERY 500 SQ FT (MIN)
14. BASEMENT FOUNDATION FOR WALLS SHALL BE PIER-LOCKED AS PER THE FOLLOWING:
 - FILL THE FLOOR JOIST cavity solid with INSUL. WOOL OR DRYWALL DIRECTLY ABOVE ANY WALL THAT SEPARATES A FINISHED AREA FROM AN UNFINISHED AREA.
 - INSTALL VERTICAL FREEZELOOKS AT 10'-0" INTERVALS IN MURRED OUT WALLS AGAINST A CONCRETE FOUNDATION WALL.
 - INSTALL FREEZELOOKS AT THE INTERSECTION OF CONCEALED VERTICAL SPACES AND CONCEALED HORIZONTAL SPACES.

INSULATION

1. MINIMUM INSULATION VALUES SHALL BE AS FOLLOWS:

ROOF/CEILING FRAME	R-38
WALL 4 BAND JOISTS	R-13
FLOOR OVER UNHEATED CRAWL SPACE	R-13
FINISHED BASEMENT FOUNDATION WALL	R-13 (FULL HEIGHT)
UNFINISHED BASEMENT FOUNDATION WALL	R-5 (20% MIN. OF EXPOSED PNDN.)
SLAB ON GRADE FLOORS	R-10 (NO DUCTWORK IN THE SLAB)
DUCTWORK IN NON-CONDITIONED SPACE	R-5
2. THE BASEMENT FOUNDATION WALL INSULATION SHALL EXTEND DOWN TO THE BASEMENT FLOOR SLAB OR TO A MINIMUM OF 24" BELOW OUTSIDE FINISH GRADE WHEN THE GRADE IS ABOVE THE FLOOR SLAB ELEVATION.
3. BATT OR BLANKET INSULATION INCLUDING THE VAPOR RETARDER BREATHER PAPER OR OTHER COVERINGS SHALL NOT BE LEFT EXPOSED IN UNFINISHED BASEMENTS UNLESS THE MATERIAL HAS A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS.
4. ALL FOAM PLASTIC INSULATION SHALL BE SEPARATED FROM THE INTERIOR OF THE BUILDING BY A THERMAL BARRIER OF 1/2" GYPSUM WALLBOARD.
5. ALL FOAM PLASTICS SHALL HAVE A FLAME SPREAD RATING OF 15 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS.

FOUND TRANSMISSION

AIR-BORNE SOUND INSULATION FOR WALL AND FLOOR-CEILING ASSEMBLIES SHALL MEET A SOUND TRANSMISSION CLASS (STC) RATING OF 45 (OR GREATER) WHEN TESTED IN ACCORDANCE WITH ASTM E 90. SEE APPENDIX K - SOUND TRANSMISSION OF THE 2009 IRC.

PLUMBING

1. DOWNSPUTS AND FOUNDATION DRAINS WILL NOT BE CONNECTED TO SANITARY SEWER.
2. 'NO LEAD' SOLDER IS REQUIRED FOR ALL COPPER WATER SUPPLY PIPING.
3. NOTE THAT THE WATER SERVICE PIPE AND THE BUILDING SEWER ARE TO BE A MINIMUM OF 10' APART HORIZONTALLY.
4. BASEMENT AREA W/ DRAINS AND FOUNDATION DRAIN TIES ARE NOT TO BE CONNECTED TO A SANITARY SEWER.
5. WATER SERVICE LINE SIZE 4 LOCATION PER FOUNDATION PLAN.
6. PROVIDE 50 GALLON ELECTRIC WATER HEATER.
1. PROVIDE EXPANSION TANK FOR WATER HEATERS ABOVE 30 GALLONS.
2. PROVIDE FLOOR DRAIN, SLOPE SLAB TOWARD.

FLOOR PLAN NOTES

ELECTRICAL SYMBOLS

- NOTE NOT ALL NECESSARILY OCCUR ON THIS PAGE
1. ALL OUTLETS LOCATED IN GARAGE, KITCHEN, LAUNDRY, BATHROOMS 4 ON EXTERIOR TO BE GFI CIRCUIT.
 2. ALL OUTLETS LOCATED ON EXTERIOR TO BE WATERPROOFED ELECTRICAL LAYOUT FOR GENERAL BIDDING.
 3. PROVIDE EXTERIOR WATERPROOF GR RECEPTACLE WITHIN 25'-0" OF A/C CONDUING UNIT.
 4. ALL BRANCH CIRCUITS THAT SUPPLY 120V, SINGLE PHASE, 15 AMP 4 20 AMP OUTLETS IN BUILDING A SUPPLEMENTAL GROUNDING ELECTRODE SHALL BE PROVIDED AS SPECIFIED IN NEC SECTIONS 250-50 AND 250-53.
 5. PROVIDE INTER-SYSTEM BONDING TERMINAL FOR GROUNDING COMMUNICATION SYSTEMS (TABLE IV 4 SATELLITE DISHES)
 6. IF THE UNDERGROUND METAL WATER PIPE IS USED AS THE GROUNDING ELECTRODE, THE CONNECTION MUST BE MADE TO THE PIPE WITHIN 5'-0" OF POINT OF ENTRANCE TO THE BUILDING. A SUPPLEMENTAL GROUNDING ELECTRODE SHALL BE PROVIDED AS SPECIFIED IN NEC SECTIONS 250-50 AND 250-53.

1. ELECTRICAL CONTRACTOR RESPONSIBLE FOR ALL CODE REQUIREMENTS AND ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
- 110 V DUPLEX OUTLET
- 110 V DUPLEX-OUTLET-8P/UT WIRED (1/2 SWITCHED)
- 220 V OUTLET
- 110 V DUPLEX OUTLET WITH GROUND FAULT INTERRUPTION (GFI)

- 110 V DUPLEX OUTLET WITH GFI AND WEATHER PROOF (WP) COVER 110 V DUPLEX OUTLET
- WITH ARC FAULT INTERRUPTION (AF)
- SINGLE POLE SWITCH
- MULTIPLE SINGLE POLE SWITCHES GANGED
- WALL LIGHT FIXTURE
- INCANDESCENT LIGHT FIXTURE
- INCANDESCENT LIGHT FIXTURE WITH PULL CHAIN
- INCANDESCENT DOUBLE LIGHT FIXTURES
- 50 CFM MIN. EXHAUST FAN VENTED TO EXTERIOR
- SHOCK ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND LISTED IN ACCORDANCE WITH UL 711 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72-01.
- CARBON MONOXIDE DETECTOR SHALL COMPLY WITH UL 2934-2009

HYVAC/GENERAL MECHANICAL

1. EACH GAS APPLIANCE SHALL HAVE A GAS SHUTOFF VALVE AND GROUND JOINT UNION. A SEDIMENT TRAP IS REQUIRED AT EACH APPLIANCE OR GROUP OF APPLIANCES.
2. GAS PIPING SHALL BE IDENTIFIED PER 2009 IRC AND ANY PREVALING CODES.
3. FLEXIBLE GAS PIPING THAT ONLY BE USED IN CONNECTION WITH THE MANUFACTURER'S PROPRIETARY NAIL PLATES TO PROTECT AGAINST ACCIDENTAL PUNCTURE.
4. CLOTHES DRYERS EXHAUST SHALL BE 4" (MIN) SMOOTH INTERIOR METAL DUCT, INDEPENDENT OF ALL OTHER SYSTEMS, AND EXHAUSTED TO THE EXTERIOR WITH A 25'-0" (MAX) LENGTH.
5. RESIDENTIAL BATHROOMS WITHOUT WINDOWS FOR NATURAL VENTILATION SHALL EXHAUST 50 CFM MINIMUM TO THE EXTERIOR IT IS NOT PERMISSIBLE TO DISCHARGE EXHAUST TO THE ATTIC.
6. KITCHEN RANGE HOODS: A 100 CFM FAN (INTERMITTENT USE) OR A FAN CONTINUOUSLY EXHAUSTING 25 CFM SHALL BE INSTALLED.
1. ANY EXHAUST FAN OVER 400 CFM WILL BE REQUIRED TO HAVE AN INTERGRAL AND AUTOMATIC MAKE-UP AIR FEATURE.
2. ALL DUCT W/OV AND CHASE SEAMS AND JOINTS ARE TO BE SEALED TIGHT.

ROOFING

1. CLASS A, B, OR C ROOFING SHALL BE REQUIRED WHERE THE EDGE OF THE ROOF IS LESS THAN 3'-0" TO THE EXTERIOR FINISH GRADE.
2. ALL UNDERLAYMENT TO BE A MINIMUM OF TYPE-I PER ASTM D226-93A OR TYPE-II PER ASTM D4892-98/933E (TYPE-I IS COMMONLY CALLED NO. 15 ASPHALT FELT)
3. INDICATE CORROSION-RESISTANT FLASHING AT ALL WALL AND ROOF INTERSECTION CHANGES, IN ROOF SLOPE OR DIRECTION, AROUND ALL ROOF OPENINGS, INTERSECTIONS WITH CHIMNEYS, INTERSECTION OF EXTERIOR WALLS AND PORCHES AND DECKS, ETC. VALLEY FLASHINGS SHALL BE INSTALLED PER 2009 IRC.
4. BUILT-UP MEMBRANE ROOF SLOPE IS 1/4"12" WITH APPROVED LOW-SLOPE ROOF COVERING MATERIALS. A COLA-TAR BUILT-UP MEMBRANE MAY BE INSTALLED ON 1/8"12" SLOPE.
5. MINERAL SURFACED ROLL ROOFING SHALL CONFORM TO ASTM D 224, D 245, D 31, D3595. IT SHALL NOT BE INSTALLED ON ROOF SLOPES BELOW 1/2".
6. UNDERLAYMENT FOR ASPHALT SHINGLES:
 - SLOPES OF 2/12 TO LESS THAN 4/12 SHALL BE PROTECTED WITH TWO LAYERS OF UNDERLAYMENT APPLIED WITHIN APPROVED MANUFACTURER'S RECOMMENDATIONS AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD INTO PLACE, STARTING AT THE EAVE, APPLY 3/8" WIDE SHEETS OF UNDERLAYMENT. SUGGESTIVE 3/8" WIDE SHEETS OF UNDERLAYMENT SHALL BE INSTALLED WITH THE PREVIOUS 3/8" WIDE SHEET BY R. ALL UNDERLAYMENT SHALL BE FASTENED SUFFICIENTLY TO HOLD INTO PLACE.

- SLOPES EQUALING OR EXCEEDING 4/12 SHALL BE PROTECTED WITH ONE LAYER OF UNDERLAYMENT UNDERLAYMENT SHALL BE APPLIED SINGLE FASHON, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2", FASTENED SUFFICIENTLY TO HOLD IN PLACE.
- END LAPS SHALL BE OFFSET BY 6"-0"

CLOSET LIGHTING CLEARANCE REQUIREMENTS

1. INSTALL LUMINAIRES IN CLOTHES CLOSETS PER 2009 IRC.
2. TYPES OF LUMINAIRES SHALL BE LIMITED TO SURFACE-MOUNTED OR RECESSED INCANDESCENT LUMINAIRES WITH COMPLETELY ENCLOSED LAMPS, AND RECESSED MOUNTED OR RECESSED FLUORESCENT LUMINAIRES.
3. INCANDESCENT LUMINAIRES WITH OPEN OR PARTIALLY ENCLOSED LAMPS AND PENDANT LUMINAIRES OR LAMP-HOLDERS SHALL BE PROHIBITED.
4. INSTALL LUMINAIRES SHALL BE IN ACCORDANCE WITH ONE OR MORE OF THE FOLLOWING:
 - SURFACE-MOUNTED INCANDESCENT LUMINAIRES SHALL BE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 12-INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.
 - SURFACE-MOUNTED FLUORESCENT LUMINAIRES SHALL BE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 6-INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.
 - RECESSED INCANDESCENT LUMINAIRES WITH A COMPLETELY ENCLOSED LAMP SHALL BE INSTALLED IN THE WALL OR ON THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 6-INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.
 - RECESSED INCANDESCENT LUMINAIRES SHALL BE INSTALLED IN THE WALL OR ON THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 6-INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.

RAILING NOTES

1. GUARDRAILS SHALL BE 36" HIGH (MIN)
2. INTERIOR HANDRAILS SHALL BE 34" ABOVE AND EXTERIOR HANDRAILS SHALL BE 34" (MIN) TO 38" ABOVE AND PARALLEL TO A LINE TOUCHING THE FRONT OF STAIR NOSING. 36" (MIN) ON OPEN SIDE.
3. THE MAXIMUM SPACE BETWEEN PICKETS OR RAILS SHALL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH.
4. HANDRAILS SHALL BE ROUND, 1 3/8" (MIN) 4 1/2" (MAX) DIAMETER THERE SHALL BE A MINIMUM OF 1.5" BETWEEN HANDRAIL AND WALL, THE MAXIMUM PROTRUSION INTO REQUIRED STAIR WIDTH IS 3.5"
5. HANDRAIL ENDS SHALL RETURN TO A WALL OR NEVEL POST.

FIREPLACE

- FIREPLACE SHALL BE AN APPROVED MANUFACTURED PREFAB UNIT. BUILDER OR OWNER TO OBTAIN CURRENT INSTALLATION MANUALS OF MODEL TO BE USED AND FILE REQUIRED COPIES OF SAME WITH THESE PERMITS.
- HEARTH SHALL EXTEND 12" (MIN) EITHER SIDE OF AND 20" (MIN) IF FRONT OF FACE OPENING HEARTH SHALL BE 4" (MIN) MASONRY ON BACKER BOARD.
- FIREPLACE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTALL MANUAL. INSTALLATION INSTRUCTIONS TO REMAIN ON SITE AT ALL TIMES.

BASEMENT EGRESS

1. ALL BASEMENTS TO HAVE ONE (1) OPERABLE EMERGENCY EGRESS WINDOW EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING.
2. DOORS CAN BE INSTALLED IN LIEU OF WINDOWS.
3. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT ON NO MORE THAN 44" ABOVE THE FLOOR.
4. WHERE A DOOR OPENING, HAVING A THRESHOLD BELOW THE ADJACENT GROUND LEVEL, SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING, AND IS PROVIDED WITH A BULKHEAD ENCLOSURE, THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION 8303 OF 2009 IRC.
5. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL, IN ACCORDANCE WITH SECTION 8303 OF 2009 IRC.

WOOD SUPPORT COLUMNS (BELOW FOUNDATION LEVEL)

1. PROVIDE A MINIMUM OF FOUR (4) STUDS, 11 2X4 FRAMING, AND THREE (3) STUDS, 11 2X6 FRAMING, UNLESS NOTED OTHERWISE. STUD POSTS SHALL BE GULLED AND NAILED TOGETHER ALL STUDS SHALL BE FULL LENGTH.
2. PROVIDE BLOCKING UNDER GANGED STUDS BETWEEN FLOOR JOIST 50 THAT ENTIRE AREA OF STUDS IS SUPPORTED.
3. SUPPORT SHALL BE FROM UNDERSIDE OF BEAM TO FOUNDATION, MAIN BEAM OR CONCRETE PAD.
4. PROVIDE APPROVED TIES AT ALL CONNECTIONS TO PREVENT MOVEMENT DUE TO WIND 4 SEMIS. BLOCKING REQUIRED AT ALL CONTINUOUS POINT LOADS (SEE "SN" SYMBOLS).

FOUNDATION NOTES

SYMBOLS

- NOTE NOT ALL NECESSARILY OCCUR ON THIS PAGE
1. CONCENTRATED POST LOAD BREAKING POINT LOCATION CONTINUOUS TO BEARING.
 2. CONCENTRATED BEARING POINT CONT. FROM ABOVE. INST. BEARING AS REQ'D.
 3. INDICATES PLUMBING STRUCTURE LOCATION ABOVE.
 - FRAME WALL BRICK MASONRY WALL INTERIOR BEARING WALL DEMO WALL

LUMBER

1. SILL PLATES AND ALL OTHER WOOD IN CONTACT W/ CONCRETE OR WITHIN 8" OF CONCRETE TO BE TREATED WITH PRESERVATIVE.

FOUNDATION

- NOTE: FOUNDATION CONTRACTOR SHALL CHECK WITH OTHER TRADES FOR REQUIRED POCKETS AND OPENINGS. VERIFY ALL ROUGH OPENINGS SIZES BEFORE STARTING POUR.
1. BASEMENT WALL: THICKNESS AND HEIGHT, AS WELL AS FOOTING SIZE SHALL BE AS INDICATED ON PLAN. (SEE SECTIONS 4 DETAILS FOR ADDITIONAL INFORMATION)
 2. GARAGE OR PORCH 6"X6" 6" POUR ON 8"X2" FOOTING, UNLESS NOTED OTHERWISE.
 3. FRONT WALL FOR SLAB FLOOR 8"X6" 6" POUR ON 8"X2" FTD. UNLESS NOTED OTHERWISE SET 1/2"X1/2" ANCHOR BOLTS AT 4'-0" O.C. (MIN) AND TWO (2) IN EACH BOLT PLATE (MIN) ALL BOLTS TO BE EMBEDDED 2" (MIN) AND 2 1/2" ABOVE FOUR PROVIDE WASHER AND NUT AT EACH BOLT. BOLTS SHALL BE 3" IN FROM OUTSIDE SURFACE FOR FRAMES.
 4. CONSTRUCTION AND 2" FROM INSIDE SURFACE OF CONCRETE FOR BOTH BRICK VENEER AND LOG CONSTRUCTION.
 - 5. 4 - SEE SECTIONS AND DETAILS FOR REINFORCING DETAILS.
 - 6. WATERPROOFING/DAMP-PROOFING FOUNDATION BELOW GRADE:
 - IF SOIL ENGINEER REPORT ALLOWS USE SPRAY ON ASPHALT EMULSION DAMPROOFING, IF REPORT DOES NOT ALLOW OR WITHOUT REPORT, USE MODIFIED POLYMER ASPHALT MEMBRANE WATERPROOFING.
 - PROVIDE INSULATION AND DRAINAGE SYSTEMS TO BE INSTALLED PER THE MANUFACTURER'S FOUNDATION DRAINAGE SYSTEM) BOTH INSIDE AND OUTSIDE OF FOUNDATION. DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO AN APPROVED SUMP (5" IN DIAMETER X 18" DEEP WITH FITTED COVER) HAVING A SUMP PUMP THAT DISCHARGES INTO AN APPROVED DISPOSAL SYSTEM.

SLAB NOTES

1. ALL CONCRETE SLABS ARE NOMINAL 4" THICK WITH 6"x6" (10) @ 12" O.C. UNLESS NOTED TO EXTERIOR AND GARAGE SLABS.
2. EXTERIOR SLABS TO MAIN FOUNDATION WITH 44 RODS AT 12" O.C. WITH EXP. JOINTS.
3. SLOPE ALL SLABS FOR PROPER DRAINAGE.
4. UNDESIRABLE ROCK OR CRUSHED ROCK ALLOWED AS FILL UNDER ALL SLABS, 4" (MIN) SLAB MUST BE DAMP PROOFED OR WATERPROOFED DEPENDING ON PRESENCE OR ABSENCE OF GROUND WATER.

FLOOR JOISTS

1. FLOOR JOISTS AT 16" O.C. (MAX), UNLESS NOTED OTHERWISE.
2. ALL FLOOR JOISTS TO BE 12 SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.
3. PROVIDE DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS.

PORCH PIERS

1. PROVIDE TREATED ENGINEERED BEAM ON 6"x6" TREATED POSTS (OPT. 8X8 HOLLOW FLUID FILL COLL) ON 8" MIN. DIAMETER PIERS. (SEE PLAN FOR PIER LOCATION AND FOOTING SIZES)
2. BOTTOM OF BEAM SHALL BE AT LEAST 1" (MIN) INTO SOLID SOL AND 30" (MIN) BELOW FINISH GRADE ON UNDISTURBED SOIL.
3. PROVIDE APPROVED POST SHOES AND CAPS.
4. INSTALL PIER FROM ANY SLAB TOUCHING IT WITH EXPANSION JOINTS.

BEAM NOTES

1. BEAMS SHALL BE SIZED AS NOTED AT ON PLAN.
2. PROVIDE 3" DIA. X 158 LBS. PINE COLUMNS.
3. PROVIDE 30" X 30" X 12" THICK COLUMN FOOTINGS, UNLESS NOTED OTHERWISE.
4. NAIL JOIST TO BOTTOM OF JOISTS ON BOTH SIDES OF ALL BEAMS.
5. MINIMUM BEAM BEARING SHALL BE 3" ON CONCRETE.
6. BEAM POKS SHALL ALLOW 1" CLEARANCE AROUND BEAM TO ALLOW ADJUSTMENT, SHIMMING AND EXPANSION.
1. SHIP MIN. BEAM WITH STEEL SHIMS AND GROUT IN PLACE.
2. ALL STEEL SHALL BE FACTORY PRIME PAINTED.

PIPE COLUMN SUPPORT FOR BEAMS

1. PIPE COLUMN SHALL BE A MINIMUM SIZE OF 3" DIA. X 158 LBS. PER FOOT.
2. COLUMNS SHALL REST ON OTHER BEAMS, FOUNDATIONS, PIERS OR ISOLATED PADS.
3. CHECK PLAN FOR LOCATION OF COLUMNS FOR SIZE OF ISOLATED PADS.
4. IF 1"1/2" RESTS ON OR SUPPORTS WOOD, SIZE PIERS AND PROVIDE BLOCKING SO THAT THE MAXIMUM PSI DOES NOT EXCEED THE COMPRESSIVE STRENGTH OF THE WOOD PERPENDICULAR TO THE GRAIN.
5. PROVIDE SADDLES OR OTHER APPROVED CONNECTIONS WHERE 1"1/2" SUPPORTS OR RESTS ON WOOD.
6. PROVIDE APPROVED TIES AT ALL CONNECTIONS TO PREVENT MOVEMENT DUE TO WIND 4 SEMIS FOR COPIES OF SAME WITH THESE PERMITS.

ELECTRIC FURNACE

1. PROVIDE H-EFFICIENCY ELECTRIC FURNACE OR HEAT PUMP. HEATING CONTRACTOR SHALL PROVIDE HEAT LOSS AND GAIN CALCULATIONS, DUCT LAYOUT AND SIZE UNITS.
2. PROVIDE 50 GALLON ELECTRIC WATER HEATER.
3. PROVIDE EXPANSION TANK FOR WATER HEATERS ABOVE 30 GALLONS.
4. PROVIDE FLOOR DRAIN, SLOPE SLAB TOWARD.

ELEVATION NOTES

GRADE NOTES

1. TOP OF FOUNDATION SHALL BE 8" (MIN) ABOVE FINISH GRADE AT ALL POINTS.
2. BOTTOM OF FOOTING SHALL BE 30" (MIN) BELOW FINISH GRADE AT ALL POINTS.
3. FINISH GRADE SHALL SLOPE AWAY FROM BUILDING 6" FOR A DISTANCE OF 10'-0" (MIN)
4. IMPERVIOUS SURFACES WITHIN 10'-0" OF BUILDING FOUNDATION SHALL BE SLOPED 2-PERCENT (MIN) AWAY FROM BUILDING.

DROP FOOTINGS

1. DROP FOOTING AS REQUIRED ANCHOR INCREASE HEIGHT OF FOUR TO MAINTAIN BOTTOM OF FOOTING AND 30" (MIN) BELOW FINISH GRADE AND 24" (MIN) INTO UNDISTURBED SOLID SOIL. DROP DISTANCE TO BE IN MULTIPLES OF 6" INCREMENTS.

GUTTERS

1. PROVIDE GUTTER, DOWN SPUTS AND ELBOWS TO WITHIN 6" FROM GRADE AT BOTTOM TO SPILLAGE BLOCKS.
2. DO NOT CONNECT DOWN SPUTS OR DRAIN TIE TO SANITARY SEWER.

PORCH COLUMNS

1. PROVIDE APPROVED POST SHOE WITH 1/2" DIA. X 12" ANCHOR BOLTS SET 6" IN CONCRETE FOR ALL PORCH AND DECK COLUMNS.
2. WHERE PORCH COLUMN SITS ON WOOD PORCH FLOOR PROVIDE APPROVED THE BETWEEN COLUMN AND PORCH STRUCTURE OR PIER BELOW.
3. PROVIDE APPROVED POST CAPS FOR ALL PORCH AND DECK COLUMNS TO PREVENT WIND LIFT.

FLASHING

1. PROVIDE GALV. METAL FLASHING AT ALL MEETING LINES WHERE ROOFING MEETS
2. WALLS, CORNERS, FLUES, OR OTHER ROOFS.
3. PROVIDE PROPER FLASHING AND DRAIN EDGES AROUND ALL OTHER OPENINGS.
3. SEE ROOFING NOTES ON LAST PAGE FOR VALLEYS.

MASONRY LINTEL SIZES

1. OPENINGS UP TO 4'-0" WIDE 3-1/2"X3-1/2"X12" 6" STEEL ANGLE
2. OPENINGS 4'-1" TO 1'-0" WIDE 3-1/2"X3-1/2" 6" STEEL ANGLE
3. OPENINGS 11'-1" TO 11'-0" WIDE 6-1/2"X3-1/2" 6" STEEL ANGLE
4. OPENINGS 11'-1" TO 16'-0" WIDE 6-1/2"X4-1/2" 6" STEEL ANGLE

GENERAL DEMOLITION NOTES

1. ALL HATCHED WALLS, DOORS, AND WINDOWS ARE TO BE REMOVED.
2. CONTRACTOR TO INSTALL TEMPORARY SHORING AS REQ'D. TO SUPPORT STRUCTURE UNTIL NEW PERMANENT SUPPORT IS IN PLACE.
3. REMOVE EXISTING ROOF FRAMING AS INDICATED BY DASHED AREAS ON PLAN.
4. REMOVE EXISTING SIDING MATERIAL AS REQ'D. AND PREPARE FOR NEW PER PLAN.

GENERAL RENOVATION NOTES

1. CONTRACTORS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
2. ALL NEW INTERIOR WALLS TO BE 5/8" STUDS (3 1/2") PA 16" O.C. W/ 1/2" GYP. BRD. - USE MOISTURE RESISTANT GYP. BRD. E PLUMBING FIXTURES.
3. ALL AREAS DISTURBED BY CONSTRUCTION WHICH ARE TO REMAIN UNTOUCHED ARE TO BE RETURNED TO ORIGINAL CONDITION.
4. STRUCTURAL HEADINGS (BEAMS) @ 2X4'S (MIN) @ POSTS 2-8"UD (MIN) 8 Y.P. #2 (UNLESS NOTED OTHERWISE)

FINISH NOTES

1. NEW CEILING TO BE 1/2" GYP. BRD.
2. ALL GYP. BRD. TO BE PAINTED.
3. ALL FLOORING TO BE INSTALLED IN FINISH AREAS (PER OWNER)
4. ALL FINISH SELECTIONS PER OWNER.

DOOR NOTES

1. ALL DOORS TO BE PRE-HUNG.
2. ALL DOORS & FRAMES TO MATCH EXISTING BUILDING STANDARD.

MEP NOTES

1. VERIFY SIZE OF EXISTING ELECTRIC 4 WATER SERVICE AND UPGRADE AS REQUIRED TO ACCOMMODATE NEW ADDITION.
2. INSTALL NEW HVAC IN WATER HEATER AS REQUIRED TO ACCOMMODATE NEW ADDITION.

BUILDING CODE REQUIREMENTS

DESIGNED IN ACCORDANCE WITH FOLLOWING CODES AND ORDINANCES

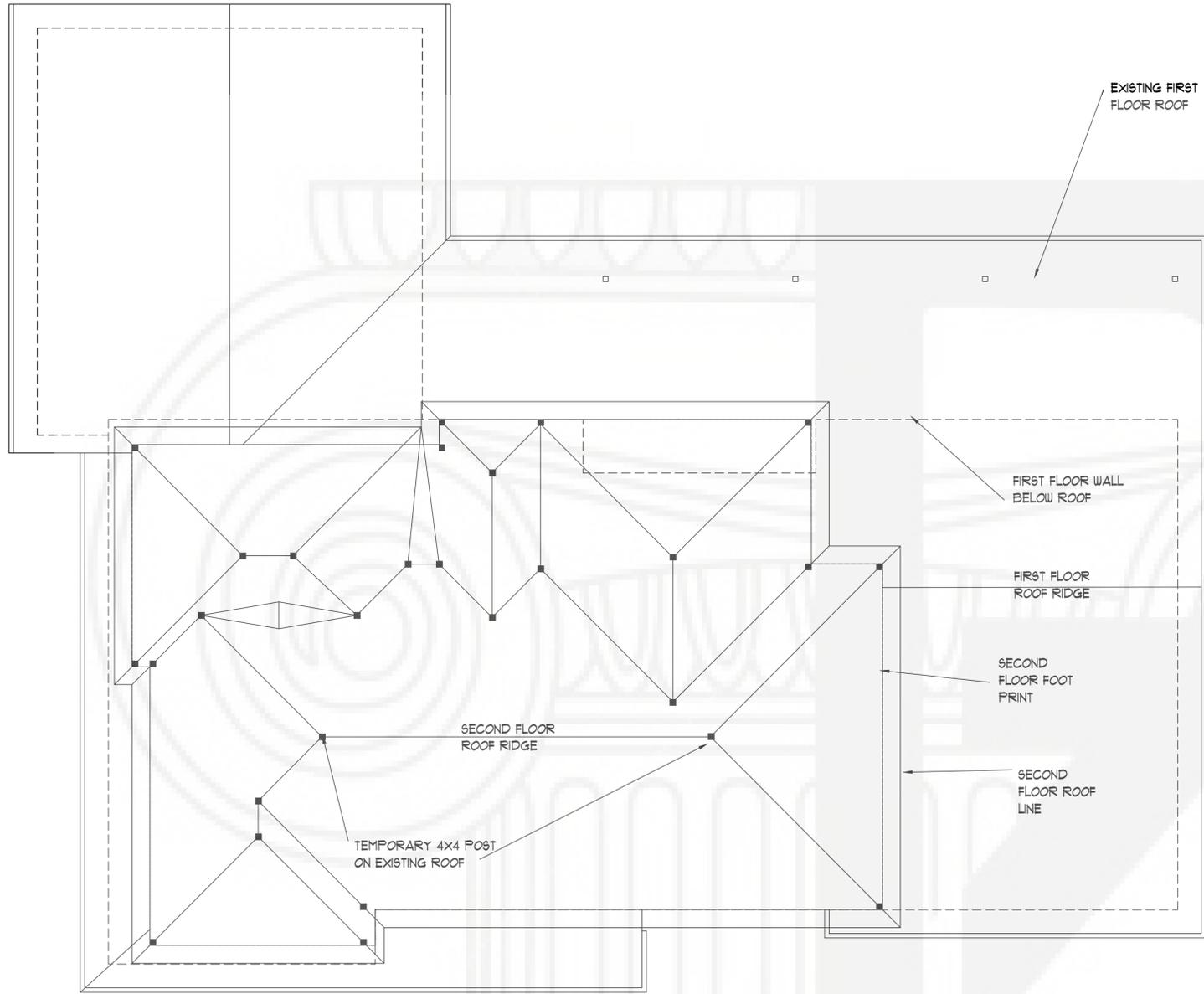
- 2009 INTERNATIONAL RESIDENTIAL CODE
- 2009 NATIONAL ELECTRICAL CODE
- 2009 UNIFORM PLUMBING CODE
- 2009 INTERNATIONAL BUILDING CODE

SIMPLIFIED BRACING METHOD

SEE NOTES AND DETAILS SHEET A2

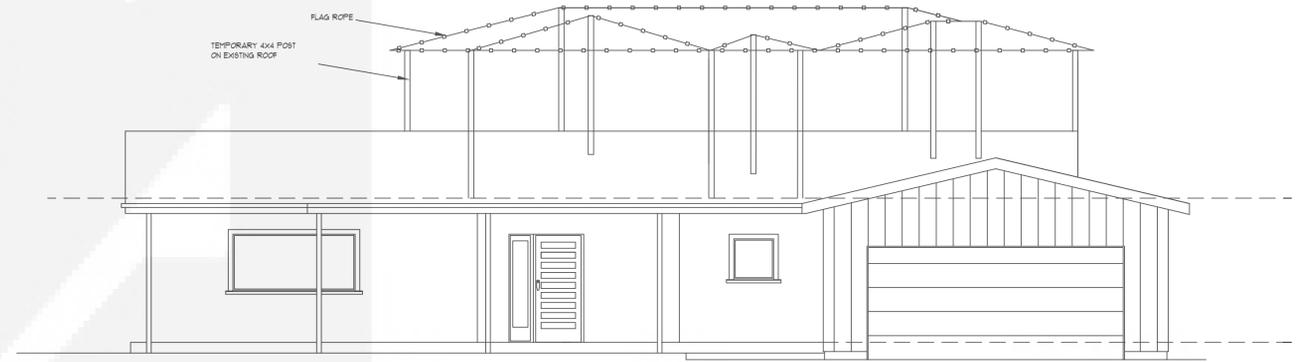
THE EXISTING BUILDING WITH THE PROPOSED MODIFICATIONS COMPLIES WITH THE LATERAL BRACING PROVISIONS OF SECTION R602.02 OF THE INTERNATIONAL RESIDENTIAL CODE, 2009 EDITION OR SECTION 2309 OF THE INTERNATIONAL BUILDING CODE, 2009 EDITION.

ENGINEERED LUMBER REQUIREMENTS



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TEMPORARY FRAME PLAN
Scale: 1/4"=1' - 00"



11

TEMPORARY FRAME NORTH ELEVATION
Scale: 3/16"=1' - 00"



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DRAWING TITLE: TEMPORARY FRAME PLAN

Sheet

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Date

APRIL 20, 2017

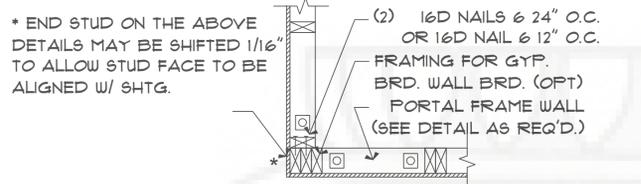
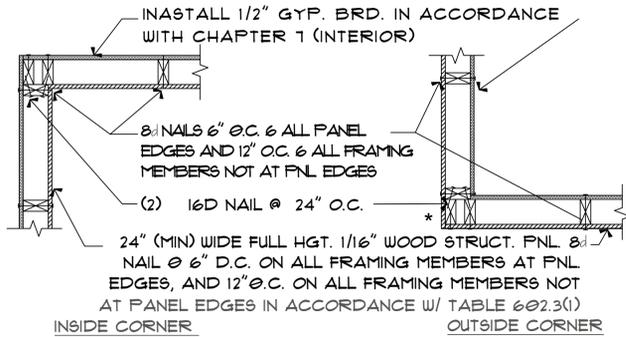
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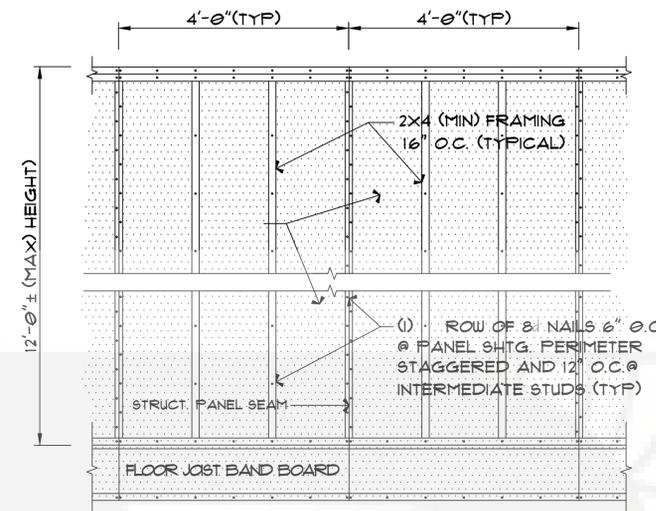
No.	Revision/Issue	Date



CORNER DETAIL USED IN CONJUNCTION WITH PORTAL WALL

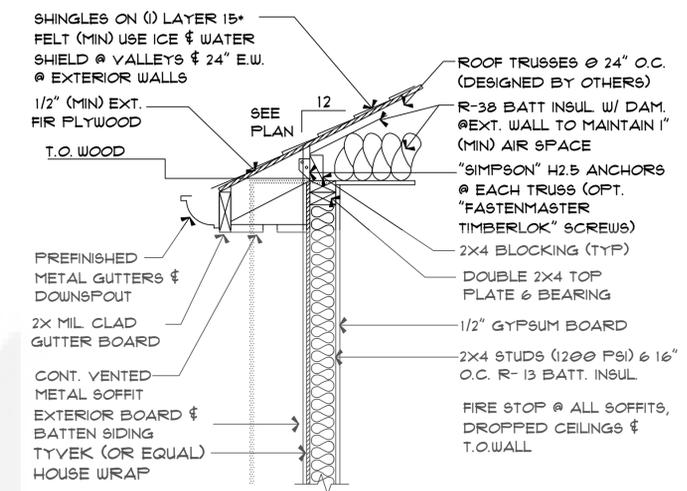
EXTERIOR CORNER FRAMING

SCALE: 3/4" = 1'-0"



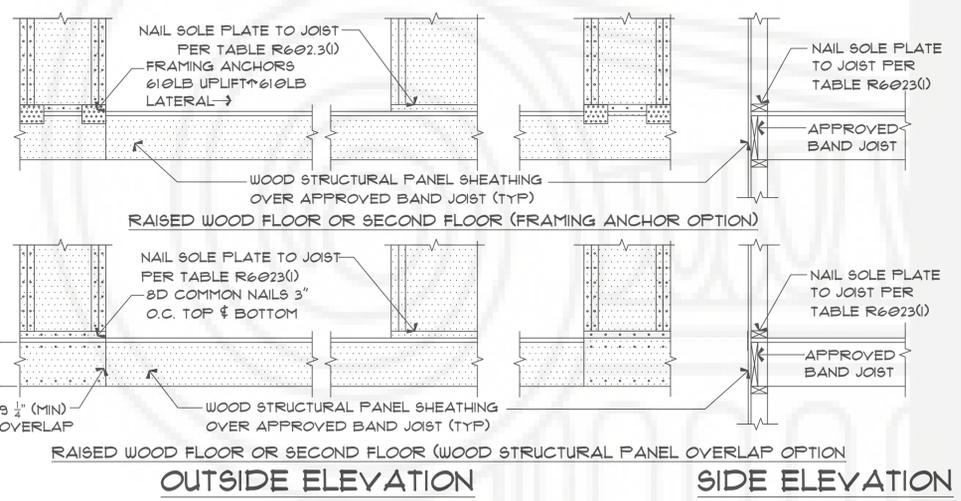
TYPICAL CONT. EXT. STRUCTURAL PANEL SHTG.

SCALE: 1/2" = 1'-0"



TYPICAL TRUSS BEARING @ HOUSE

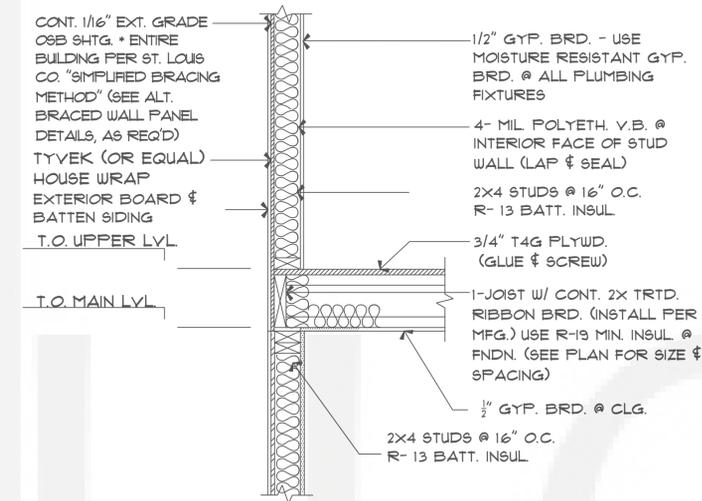
SCALE: 3/4" = 1'-0"



CRIPPLE WALL FRAMING CONSISTING OF STUD FRAMING, SINGLE BOTTOM PLATE, AND DOUBLE TOP PLATE MAY BE ADDED TO THE TOP OF THE NARROW PORTAL WALL AS LONG AS THE COMBINED HEIGHT OF THE TWO WALLS IS LESS THAN OR EQUAL TO 12 FEET AND THE TWO WALLS ARE STRAPPED TOGETHER ON THE INTERIOR SIDE WITH A 16-GA. METAL 1-1/2" WIDE X 2" LONG STRAP. 10-INCH (MIN) OF THE STRAP SHALL BE CONNECTED TO EACH WALL OR GABLE TRUSS WITH 9-16D NAILS FOR A TOTAL OF 18-16D NAILS IN THE ENTIRE STRAP. STRAPS SHALL BE LOCATED AT EACH END OF THE CONNECTED WALLS OR WALL AND GABLE TRUSS WHERE SPACE ALLOWS FOR THE 10-INCH LENGTH OF STRAP. THE SPACING BETWEEN THE STRAPS MAY NOT EXCEED 4 FEET ON CENTER. THE STRAPS SHALL NOT BE BENT HORIZONTALLY TO ACCOMMODATE WOOD FRAMING. IF APPLICABLE, NAILEERS SHALL BE ADDED TO ONE OF THE WALLS OR GABLE END USING A MINIMUM OF 9-16D NAILS TO CREATE THE VERTICAL PLANE NEEDED TO MOUNT THE STRAP.

SIMPLIFIED PORTAL WALL - FIGURE R602-10.10.3

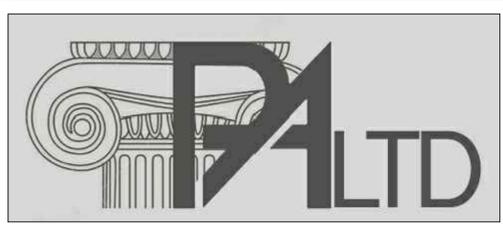
SCALE: 1/2" = 1'-0"



TYPICAL @ UPPER LEVEL

LAP SIDING (VERIFY TYPE & PROFILE W/ OWNER) SCALE: 3/4" = 1'-0"

* THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE LATERAL BRACING PROVISIONS OF SEC. R602.10 OF THE 2009 EDITION OF THE IRC



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