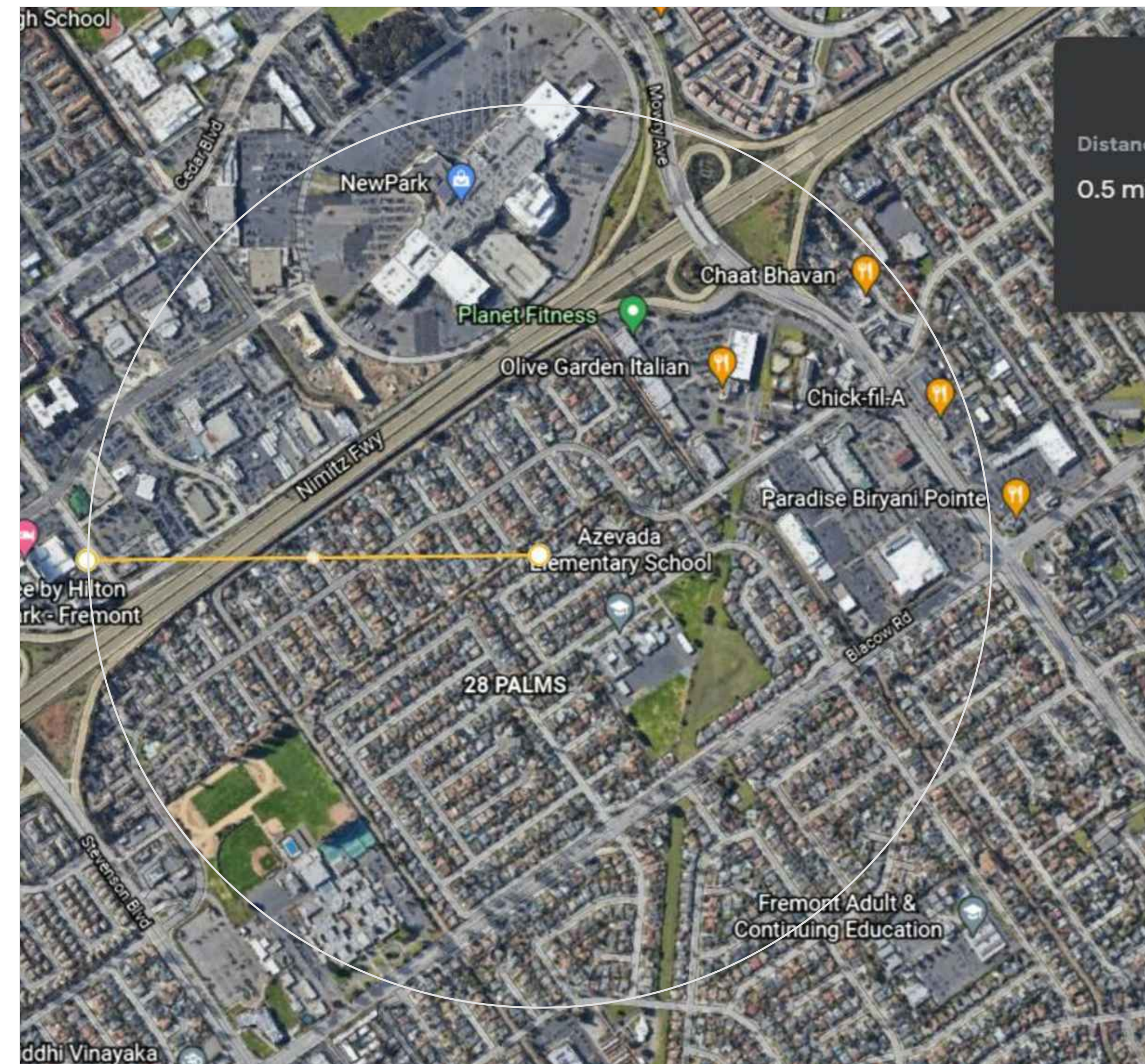




# Addition & ADU for Mrs. Sadaf Ahmad

39459 BLUE FIN WAY FREMONT, CA 94538



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**SCOPE OF WORK:**  
 MAIN HOUSE COMPLETE REMODEL OF SINGLE STORY 2-CAR GARAGE HOME. REMODEL INCLUDES INCREASING SQUARE FOOTAGE OF THE MAIN HOUSE AND AN ATTACHED ADU.

**PROPERTY ADDRESS:**  
 39459 BLUE FIN WAY FREMONT, CA 94538

**LEGAL DESCRIPTION:**  
 LOT 90, BLOCK 4, TRACT NO. 2338, 28 PALMS UNIT NO. 3 45 MAPS 21-22 (TITLE 20 ZONING) : R-1-8 MEDIUM DENSITY RESIDENTIAL ZONE

**APN:** 531-20-78

**OCCUPANCY GROUP:**  
 R-1-6

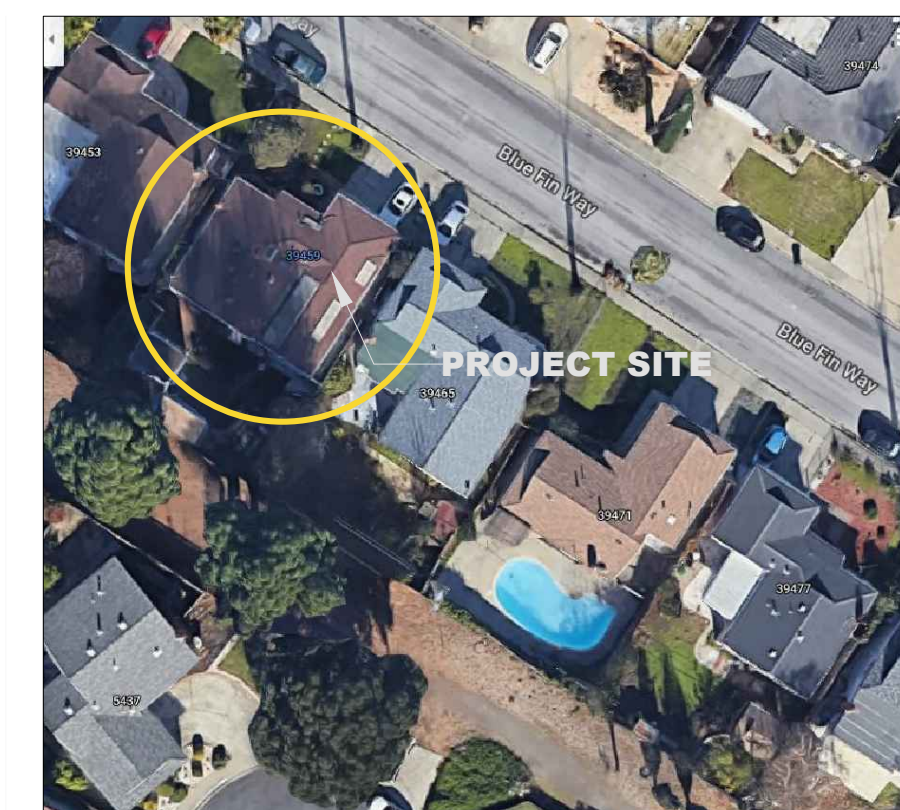
**CONSTRUCTION TYPE:** TYPE V-B

**REQUIRED SETBACKS/HEIGHT LIMITS:**

MIN. FRONT YARD: 25'	FLOOR AREA RATIO: 2012/5977 X100 = %33.6
MIN. SIDE YARD: 5'	ADDITION: 1008 SF
MIN. REAR YARD: 10'	LOT COVERAGE: 2925.9/5977 X 100 = %42.2
MAX. BUILDING HEIGHT: 35'	
LOT SIZE: 5,977 SF = 0.137 ACRES	

• DETERMINATION OF HISTORIC SIGNIFICANCE: THE STRUCTURE IS A SINGLE-FAMILY HOME BUILT AFTER 1945 IN A NUMBERED TRACK: LOT A TRACT 2877 AND HAS NO HISTORIC SIGNIFICANCE.

AFS (AUTOMATIC FIRE SPRINKLER) SYSTEM WILL BE INSTALLED.



AERIAL PHOTO

**BUILDING CODE REQUIREMENTS**

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE FOLLOWING INTERNATIONAL CODES, 2019 CALIFORNIA BUILDING STANDARDS CODE (CAL. CODE REGS., TITLE 24) COMPLIANCE WITH CITY OF FREMONT MUNICIPAL CODES. CALGREEN CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11 OF TITLE 24 CBC CALIFORNIA BUILDING CODE (PART 2 OF TITLE 24) CCR CALIFORNIA CODE OF REGULATIONS CEBC CALIFORNIA EXISTING BUILDING CODE (PART 10 OF TITLE 24) CEC CALIFORNIA ELECTRICAL CODE (PART 3 OF TITLE 24) CEC CALIFORNIA ENERGY CODE (PART 6 OF TITLE 24) CEC CALIFORNIA ENERGY COMMISSION CMC CALIFORNIA MECHANICAL CODE (PART 4 OF TITLE 24) CPC CALIFORNIA PLUMBING CODE (PART 5 OF TITLE 24) CRSC CALIFORNIA REFERENCED STANDARDS CODE (PART 12 OF TITLE 24) DPH IDENTIFIES CODE PROVISIONS BY THE DEPARTMENT OF PUBLIC HEALTH IBC INTERNATIONAL BUILDING CODE IFC INTERNATIONAL FIRE CODE IIBC INTERNATIONAL EXISTING BUILDING CODE IRC INTERNATIONAL RESIDENTIAL CODE NEC NATIONAL ELECTRICAL CODE NFPA NATIONAL FIRE PROTECTION ASSOCIATION

**PROJECT TEAM**

**Owner:** Mrs. SADAF AHMAD  
 39459 Blue Fin Way Fremont, Ca 94538  
 Tel: (857) 277- 8912

**Architect:** PixelArch, LTD., Architecture and Civil, Structural & Mechanical Engineering  
 24001 Calle De La Magdalena, unit 3896  
 Laguna Hills, CA 92653  
 Tel: 415 316 7162  
 info@pixelarchltd.com

**PE on board:** Barrett Crook PE  
 barrettcrook@kittyhawkengineering.com

Energy Consult LLC  
 (424) 247-7658  
[www.title24ez.com](http://www.title24ez.com)



**PixelArch Ltd.**  
 US Office:  
 24001 Calle De La Magdalena, unit 3896  
 Laguna Hills, CA 92653  
 Tel: (415) 316 7162 info@pixelarchltd.com  
 www.pixelarchltd.com

Project Name and Address:

Addition & ADU for  
**Mrs. Sadaf Ahmad**  
 39459 BLUE FIN WAY FREMONT, CA 94538



Date: Nov. 10, 2021

Scale:

DRAWING TITLE:

COVER SHEET

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**A-0**







### 2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. \*Exceptions may apply. (01/20/20)

Table with 2 columns: Measure ID and Measure Description. Includes sections for Building Envelope Measures, Fireplaces, Decorative Gas Appliances, and Gas Log Measures, Space Conditioning, Water Heating, and Plumbing System Measures, and Solar Ready Buildings.



### 2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Clearance, Liquid Line Drier, Storage Tank Insulation, Water Piping, Insulation Protection, Gas or Propane Water Heating Systems, Recirculating Loops, Ducts and Fans Measures, and Solar Ready Buildings.



### 2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Pool and Spa Systems and Equipment Measures, Lighting Measures, and Solar Ready Buildings.



### 2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Interior Switches and Controls, Solar Ready Buildings, and Solar Ready Buildings.



PixelArch Ltd.
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2601 Calle De La Magdalena, unit 3856
Laguna Hills, CA 92653
Tel: (415) 316 7162 info@pixelarch.com
www.pixelarch.com

Project Name and Address:

Addition & ADU for
Mrs. Sadaf Ahmad
39459 BLUE FIN WAY FREMONT, CA 94538



Date: Nov. 10, 2021

Scale:

DRAWING TITLE:

2019 Residential Mandatory Measures Summary

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**CERTIFICATE OF COMPLIANCE**

Project Name: 39459 Blue Fin ADU

Calculation Date/Time: 2021-11-10T15:00:25-08:00

CF1R-PRF-01E

(Page 7 of 7)

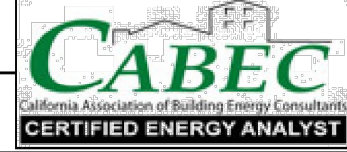
Calculation Description: Title 24 Analysis

Input File Name: 39459\_Blue\_Fin\_ADU\_v3.rbd19

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

I, I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: <b>Igor Pichko</b>	Documentation Author Signature: <i>Igor Pichko</i>
Company: <b>Energy Consult LLC</b>	Signature Date: <b>2021-11-10 15:05:33</b>
Address: <b>1252 w 22nd st #2</b>	CEA/ HERS Certification Identification (if applicable): <b>R19-14-30005</b>
City/State/Zip: <b>San Pedro, CA 90731</b>	Phone: <b>424-247-7658</b>



**RESPONSIBLE PERSON'S DECLARATION STATEMENT**

I certify the following under penalty of perjury, under the laws of the State of California:

- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
- I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: <b>Darren Asad</b>	Responsible Designer Signature: <i>Darren Asad</i>
Company: <b>Pixel Arch LTD</b>	Date Signed: <b>2021-11-11 08:12:45</b>
Address: <b>4525 Carpinteria Ave #636</b>	License: <b>na</b>
City/State/Zip: <b>Carpinteria, CA 93014</b>	Phone: <b>909-939-2585</b>

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.



Registration Number: 221-PO10235872A-000-000-0000000-0000      Registration Date/Time: 2021-11-11 08:12:45      HERS Provider: CalCERTS inc.  
 CA Building Energy Efficiency Standards - 2019 Residential Compliance      Report Version: 2019.1.300      Report Generated: 2021-11-10 15:00:39  
 Schema Version: rev 20200901



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 Laguna Hills, CA 92653  
 Tel: (415) 316 7162    info@pixelarchtd.com  
 www.pixelarchtd.com

Project Name and Address:

**Addition & ADU for  
 Mrs. Sadaf Ahmad**  
 39459 BLUE FIN WAY FREMONT, CA 94538



Date: Nov. 10, 2021

Scale:

DRAWING TITLE:  
**TITLE-24 CERTIFICATE OF COMPLIANCE  
 ADU**

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CERTIFICATE OF COMPLIANCE

Project Name: 39459 Blue Fin Residence
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2021-11-10T11:47:56-08:00
Input File Name: 39459\_Blue\_Fin\_addition\_v3\_r1.rbd19

CF1R-PRF-01E
(Page 1 of 10)

Table with 13 columns (01-13) containing project details: Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, Addition Cond. Floor Area, Existing Cond. Floor Area, Total Cond. Floor Area, ADU Bedroom Count, Is Natural Gas Available?

Table with 3 columns (01-03) for Compliance Results: Building Complies with Computer Performance, This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider, This building incorporates one or more Special Features shown below.

Table with 5 columns (Energy Use, Standard Design, Proposed Design, Compliance Margin, Percent Improvement) for Energy Use Summary, listing Space Heating, Space Cooling, IAQ Ventilation, Water Heating, Self Utilization/Flexibility Credit, and Compliance Energy Total.

Registration Number: 221-P0101939688-000-000-0000000-0000
Registration Date/Time: 2021-11-11 08:11:55
HERS Provider: CalCERTS, Inc.
CA Building Energy Efficiency Standards - 2019 Residential Compliance
Report Version: 2019.1.300
Schema Version: rev 20200901
Report Generated: 2021-11-10 11:48:26

CERTIFICATE OF COMPLIANCE

Project Name: 39459 Blue Fin Residence
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2021-11-10T11:47:56-08:00
Input File Name: 39459\_Blue\_Fin\_addition\_v3\_r1.rbd19

CF1R-PRF-01E
(Page 2 of 10)

Table with 7 columns (01-07) for Building - Features Information, listing Project Name, Conditioned Floor Area, Number of Dwelling Units, Number of Bedrooms, Number of Zones, Number of Ventilation Cooling Systems, Number of Water Heating Systems.

Table with 7 columns (01-07) for Zone Information, listing Zone Name, Zone Type, HVAC System Name, Zone Floor Area, Avg. Ceiling Height, Water Heating System 1, Water Heating System 2.

Registration Number: 221-P0101939688-000-000-0000000-0000
Registration Date/Time: 2021-11-11 08:11:55
HERS Provider: CalCERTS, Inc.
CA Building Energy Efficiency Standards - 2019 Residential Compliance
Report Version: 2019.1.300
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CF1R-PRF-01E
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Table with 12 columns (01-12) for Opaque Surfaces, listing Name, Zone, Construction, Azimuth, Orientation, Gross Area, Window and Door Area, Tilt, Wall Exceptions, Status, Verified Existing Condition.

Registration Number: 221-P0101939688-000-000-0000000-0000
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CA Building Energy Efficiency Standards - 2019 Residential Compliance
Report Version: 2019.1.300
Schema Version: rev 20200901
Report Generated: 2021-11-10 11:48:26

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CF1R-PRF-01E
(Page 4 of 10)

Table with 14 columns (01-14) for Opaque Surfaces - Cathedral Ceilings, listing Name, Zone, Construction, Azimuth, Orientation, Area, Skylight Area, Roof Rise, Roof Reflectance, Roof Emittance, Cool Roof, Status, Verified Existing Condition, Existing Construction.

Table with 10 columns (01-10) for Attic, listing Name, Construction, Type, Roof Rise, Roof Reflectance, Roof Emittance, Radiant Barrier, Cool Roof, Status, Verified Existing Condition.

Table with 16 columns (01-16) for Fenestration / Glazing, listing Name, Type, Surface, Orientation, Azimuth, Width, Height, Mult., Area, U-factor, U-factor Source, SHGC, SHGC Source, Exterior Shading, Status, Verified Existing Condition.

Registration Number: 221-P0101939688-000-000-0000000-0000
Registration Date/Time: 2021-11-11 08:11:55
HERS Provider: CalCERTS, Inc.
CA Building Energy Efficiency Standards - 2019 Residential Compliance
Report Version: 2019.1.300
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Input File Name: 39459\_Blue\_Fin\_addition\_v3\_r1.rbd19

CF1R-PRF-01E
(Page 5 of 10)

Table with 16 columns (01-16) for Fenestration / Glazing, listing Name, Type, Surface, Orientation, Azimuth, Width, Height, Mult., Area, U-factor, U-factor Source, SHGC, SHGC Source, Exterior Shading, Status, Verified Existing Condition.

Table with 6 columns (01-06) for Opaque Doors, listing Name, Side of Building, Area, U-factor, Status, Verified Existing Condition.

Table with 10 columns (01-10) for Slab Floors, listing Name, Zone, Area, Perimeter, Edge Insul. R-value and Depth, Edge Insul. R-value and Depth, Carpeted Fraction, Heated, Status, Verified Existing Condition.

Registration Number: 221-P0101939688-000-000-0000000-0000
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CA Building Energy Efficiency Standards - 2019 Residential Compliance
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Project Name: 39459 Blue Fin Residence
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Calculation Date/Time: 2021-11-10T11:47:56-08:00
Input File Name: 39459\_Blue\_Fin\_addition\_v3\_r1.rbd19

CF1R-PRF-01E
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Table with 8 columns (01-08) for Opaque Surface Constructions, listing Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers.

Registration Number: 221-P0101939688-000-000-0000000-0000
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HERS Provider: CalCERTS, Inc.
CA Building Energy Efficiency Standards - 2019 Residential Compliance
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Schema Version: rev 20200901
Report Generated: 2021-11-10 11:48:26



PixelArch Ltd.
US Office: 2400 Calhoun La Madera, CA 93655
Tel: (415) 316 7162 info@pixelarch.com www.pixelarch.com

Project Name and Address:

Addition & ADU for
Mrs. Sadaf Ahmad
39459 BLUE FIN WAY FREMONT, CA 94538



Date: Nov. 10, 2021
Scale:

DRAWING TITLE:
TITLE-24 CERTIFICATE OF COMPLIANCE
MAIN ADDITION

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01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Roof n-2	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O. C.	R-15	None / None	0.066	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-13.0 / 2x4 Top Chrd Under Roof Joists: R-2.0 Insul.
Roof alt	Attic Roofs	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-38	None / None	0.031	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-38 / 2x12
Roof n	Attic Roofs	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-38	None / None	0.031	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-38 / 2x12
Floor crawl new	Floors Over Crawlspace	Wood Framed Floor	2x12 @ 16 in. O. C.	R-34	None / None	0.03	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-34 / 2x12
Floor crawl alt	Floors Over Crawlspace	Wood Framed Floor	2x12 @ 16 in. O. C.	R-34	None / None	0.03	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-34 / 2x12
Ceiling attic new-2	Ceilings (below attic)	Wood Framed Ceiling	2x4 Bottom Chord of Truss @ 24 in. O. C.	R-22	None / None	0.043	Over Ceiling Joists: R-12.9 Insul. Cavity / Frame: R-9.1 / 2x4 Btm Chrd Inside Finish: Gypsum Board
Ceiling attic new	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-22	None / None	0.043	Over Ceiling Joists: R-12.9 Insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

Registration Number: 221-P010193968B-000-000-0000000-0000  
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01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Roof n-2	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O. C.	R-15	None / None	0.066	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-13.0 / 2x4 Top Chrd Under Roof Joists: R-2.0 Insul.
Roof alt	Attic Roofs	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-38	None / None	0.031	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-38 / 2x12
Roof n	Attic Roofs	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-38	None / None	0.031	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-38 / 2x12
Floor crawl new	Floors Over Crawlspace	Wood Framed Floor	2x12 @ 16 in. O. C.	R-34	None / None	0.03	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-34 / 2x12
Floor crawl alt	Floors Over Crawlspace	Wood Framed Floor	2x12 @ 16 in. O. C.	R-34	None / None	0.03	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-34 / 2x12
Ceiling attic new-2	Ceilings (below attic)	Wood Framed Ceiling	2x4 Bottom Chord of Truss @ 24 in. O. C.	R-22	None / None	0.043	Over Ceiling Joists: R-12.9 Insul. Cavity / Frame: R-9.1 / 2x4 Btm Chrd Inside Finish: Gypsum Board
Ceiling attic new	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-22	None / None	0.043	Over Ceiling Joists: R-12.9 Insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

Registration Number: 221-P010193968B-000-000-0000000-0000  
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 Report Version: 2019.1.300  
 Schema Version: rev 20200901

01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW alt - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
HVAC new	Heat pump heating/cooling	Heat Pump System 1	Heat Pump System 1	n/a	n/a	Setback	New	No	1	1

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Number of Units	Heating HSPF/COP	Cap 47	Cap 17	SEER	Cooling EER/CEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	Multi-split HP-ductless	1	10.5	66000	41500	17.4	13	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER	Verified SEER	Verified Refrigerant Charge	Verified HSPF	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0	Not Required	Not Required	No	No	No	No

HERS RATER VERIFICATION OF EXISTING CONDITIONS

Registration Number: 221-P010193968B-000-000-0000000-0000  
 Registration Date/Time: 2021-11-11 08:11:55  
 CA Building Energy Efficiency Standards - 2019 Residential Compliance  
 Report Version: 2019.1.300  
 Schema Version: rev 20200901

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Igor Pichko	Documentation Author Signature: <i>Igor Pichko</i>
Company: Energy Consult LLC	Signature Date: 2021-11-10 15:01:34
Address: 1252 w 22nd st #2	CEA/HERS Certification Identification (if applicable): R19-14-30005
City/State/Zip: San Pedro, CA 90731	Phone: 424-247-7658
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California:	
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Darren Asad	Responsible Designer Signature: <i>Darren Asad</i>
Company: Pixel Arch LTD	Date Signed: 2021-11-11 08:11:55
Address: 4525 Carpinteria Ave #636	License: na
City/State/Zip: Carpinteria, CA 93014	Phone: 909-939-2585



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 Tel: (415) 316 7162 info@pixelarch.com  
 www.pixelarch.com

Project Name and Address:

Addition & ADU for  
**Mrs. Sadaf Ahmad**  
 39459 BLUE FIN WAY FREMONT, CA 94538



Date: Nov. 10, 2021  
 Scale:

DRAWING TITLE:  
**TITLE-24 CERTIFICATE OF COMPLIANCE  
 MAIN ADDITION**

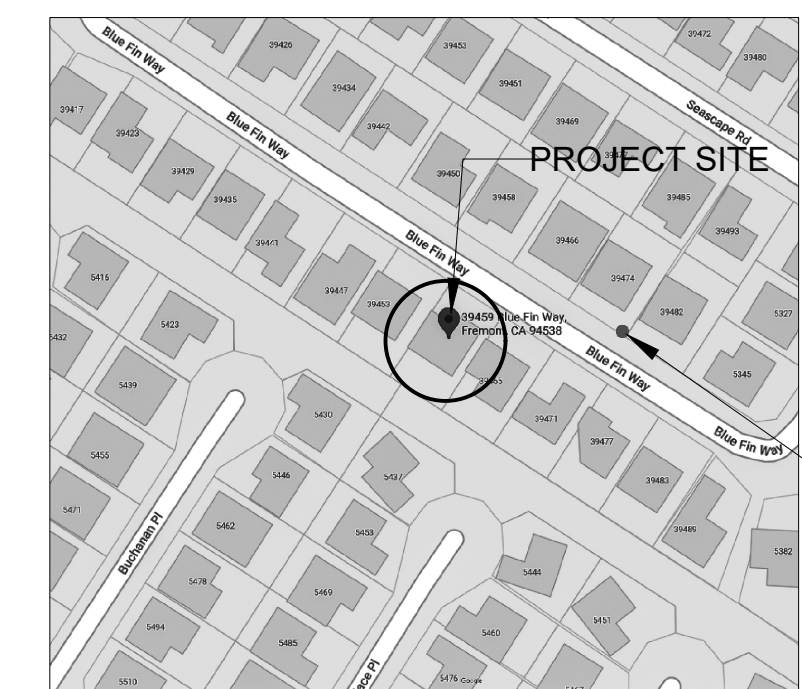
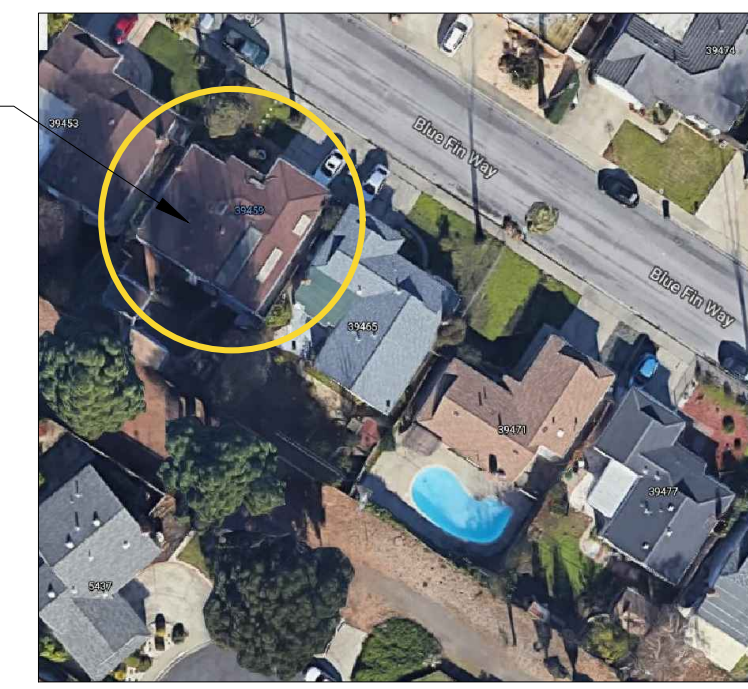
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**A-7**



BLUE FIN WAY  
(46' - R/W)

BLUE FIN WAY  
(46' - R/W)



FIRE HYDRANT  
134 FEET

AERIAL PHOTO

VICINITY MAP

PROJECT SITE

SCOPE OF WORK:

MAIN HOUSE COMPLETE REMODEL OF SINGLE STORY 2-CAR GARAGE HOME. REMODEL INCLUDES INCREASING SQUARE FOOTAGE OF THE MAIN HOUSE AND NEW ATTACHED 1 BED/1 BATH ADU.

PROPERTY ADDRESS:

39459 BLUE FIN WAY FREMONT, CA 94538

LEGAL DESCRIPTION:

LOT 90, BLOCK 4, TRACT NO. 2338, 28 PALMS UNIT NO. 3 45 MAPS 21-22

ZONING CLASSIFICATION:

(TITLE 20 ZONING) : R-1-8 MEDIUM DENSITY RESIDENTIAL ZONE

APN: 531-20-78

OCCUPANCY GROUP:

R-1-6

CONSTRUCTION TYPE: TYPE V-B

REQUIRED SETBACKS/HEIGHT LIMITS:

MAIN STRUCTURE:

MIN. FRONT YARD: 25'

MIN. SIDE YARD: 5'

MIN. REAR YARD: 10'

MAX. BUILDING HEIGHT: 35'

LOT SIZE: 5,977 SF = 0.137 ACRES

FLOOR AREA RATIO:

2012/5977 X100 = %33.6

ADDITION: 1008 SF

LOT COVERAGE:

2925.9/5977 X 100 = %42.2

BUILDING AREA CALCULATIONS (EXISTING AND PROPOSED)						
	CONDITIONED AREA	GARAGE	ADU	DECK	FRONT PORCH	TOTAL
EXISTING	MAIN FLOOR 1008 SF	452.8 SF	-	-	-	1460.8 SF
PROPOSED	MAIN FLOOR 1613.3 SF	452.8 SF	398.7 SF	268.7 SF	192.4 SF	2925.9 SF

BUILDING CODE REQUIREMENTS

- THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE FOLLOWING INTERNATIONAL CODES, 2019 CALIFORNIA BUILDING STANDARDS CODE (CAL. CODE REGS., TITLE 24) COMPLIANCE WITH CITY OF FREMONT MUNICIPAL CODES.
- CALGREEN CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11 OF TITLE 24
- CBC CALIFORNIA BUILDING CODE (PART 2 OF TITLE 24)
- CCR CALIFORNIA CODE OF REGULATIONS
- CEBC CALIFORNIA EXISTING BUILDING CODE (PART 10 OF TITLE 24)
- CEC CALIFORNIA ELECTRICAL CODE (PART 3 OF TITLE 24)
- CEC CALIFORNIA ENERGY CODE (PART 6 OF TITLE 24)
- CEC CALIFORNIA ENERGY COMMISSION
- CMC CALIFORNIA MECHANICAL CODE (PART 4 OF TITLE 24)
- CPC CALIFORNIA PLUMBING CODE (PART 5 OF TITLE 24)
- CRSC CALIFORNIA REFERENCED STANDARDS CODE (PART 12 OF TITLE 24)
- DPH IDENTIFIES CODE PROVISIONS BY THE DEPARTMENT OF PUBLIC HEALTH
- IBC INTERNATIONAL BUILDING CODE
- IFC INTERNATIONAL FIRE CODE
- IEBC INTERNATIONAL EXISTING BUILDING CODE
- IRC INTERNATIONAL RESIDENTIAL CODE
- NEC NATIONAL ELECTRICAL CODE
- NFPA NATIONAL FIRE PROTECTION ASSOCIATION

PROJECT TEAM

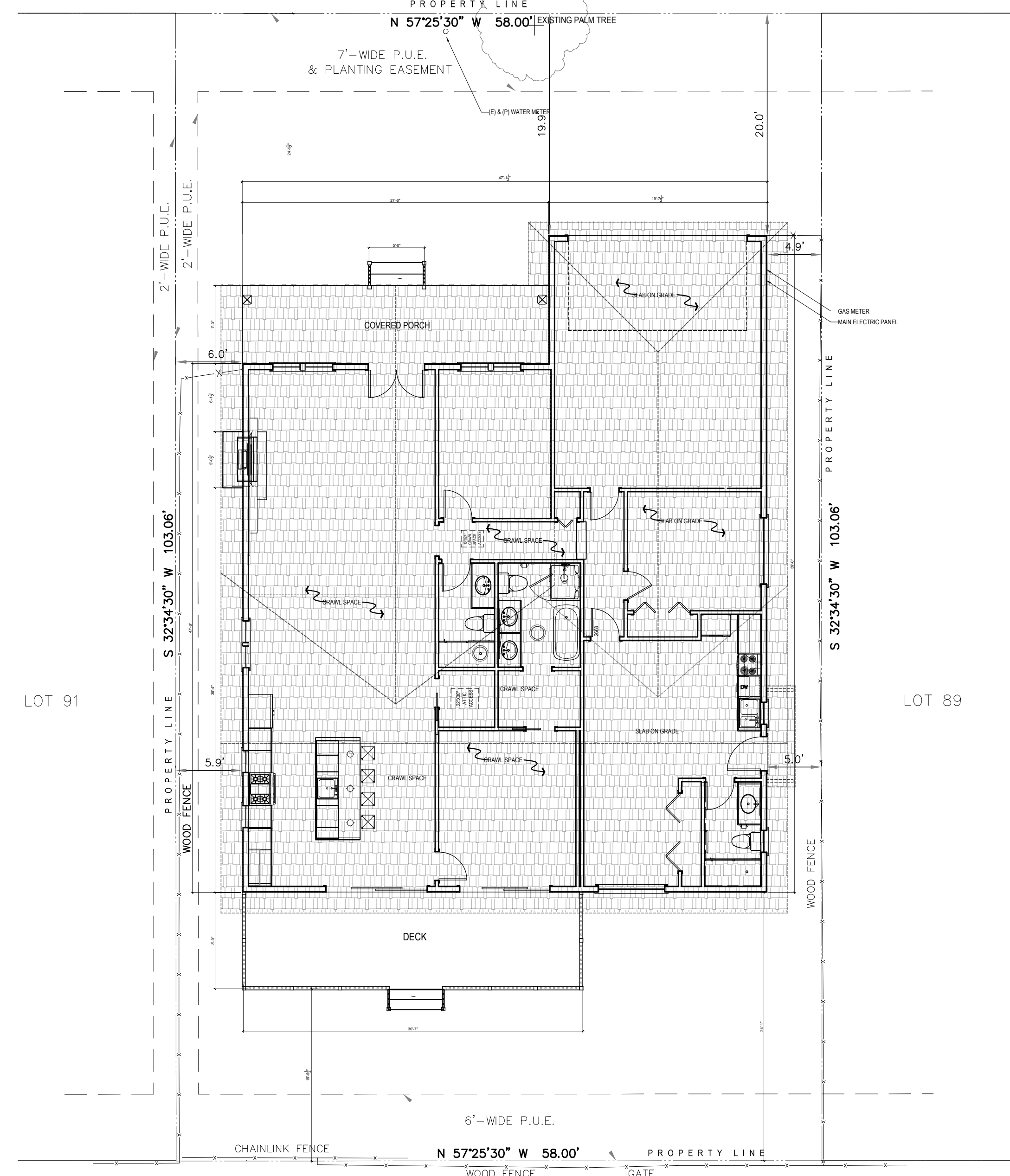
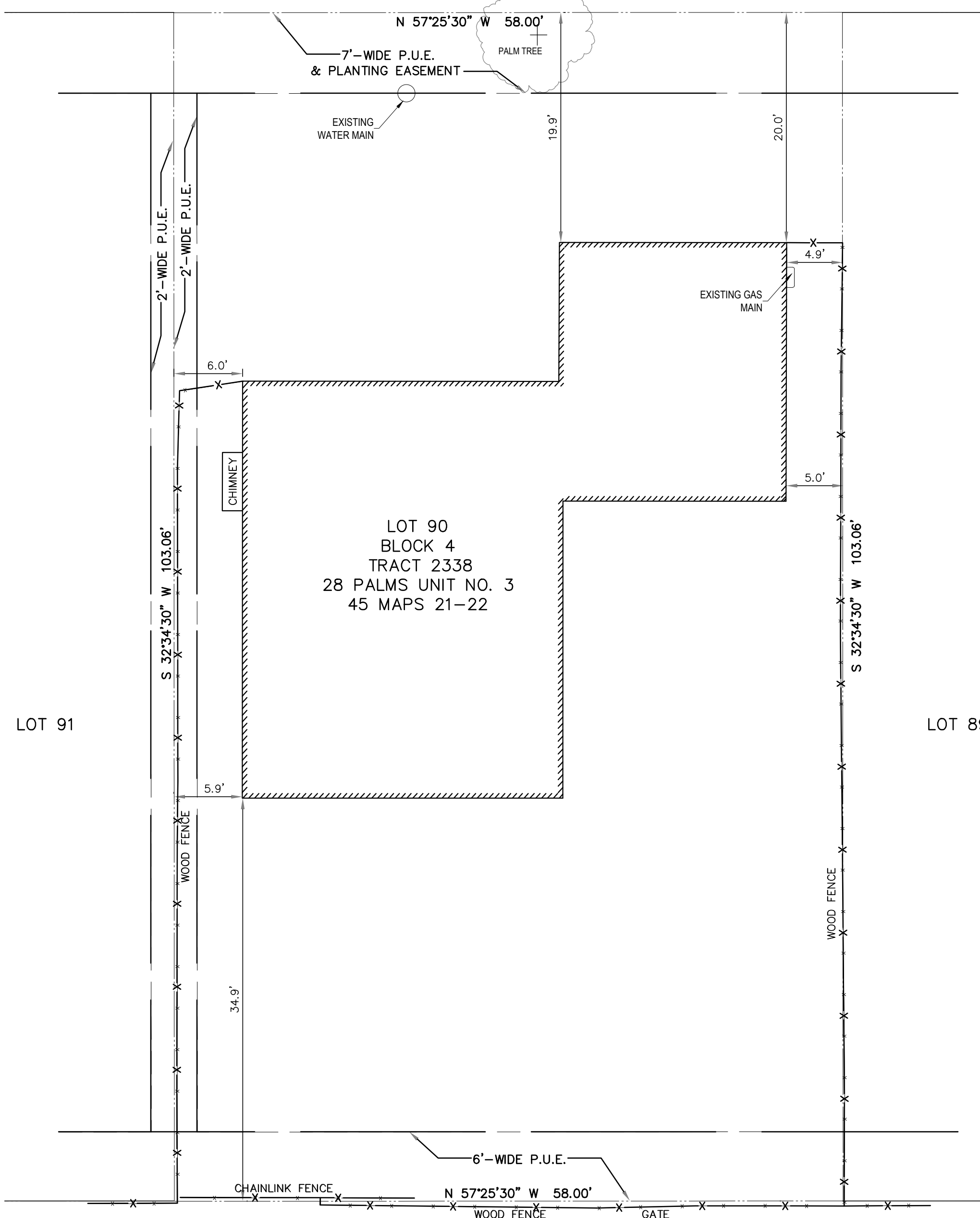
Owner: Mrs. SADAF AHMAD  
39459 Blue Fin Way Fremont, Ca 94538  
Tel: (857) 277- 8912

Energy Consult LLC  
(424) 247-7658  
[www.title24ez.com](http://www.title24ez.com)

Architect: PixelArch, LTD., Architecture and Civil, Structural & Mechanical Engineering  
24001 Calle De La Magdalena, unit 3896  
Laguna Hills, CA 92653  
Tel: 415 316 7162  
info@pixelarchltd.com

PE on board: Barrett Crook PE  
barrettcrook@kittyhawkengineering.com

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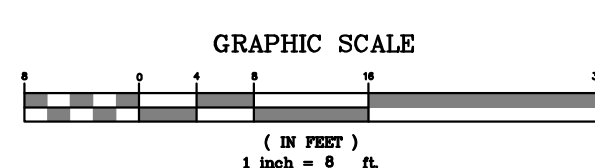
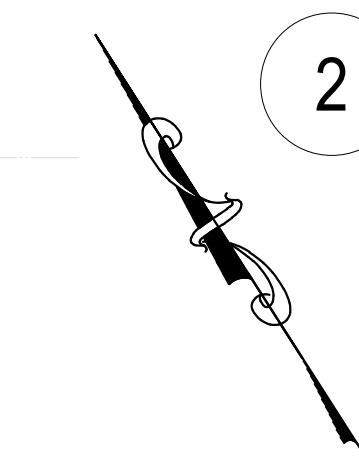


1 EXISTING SITE PLAN

Scale: 1/8" = 1' - 00"

2 PROPOSED SITE PLAN

Scale: 1/8" = 1' - 00"



Project Name and Address:

Addition & ADU for  
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Date: Nov. 10, 2021

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DRAWING TITLE:

EXISTING/PROPOSED SITE PLAN

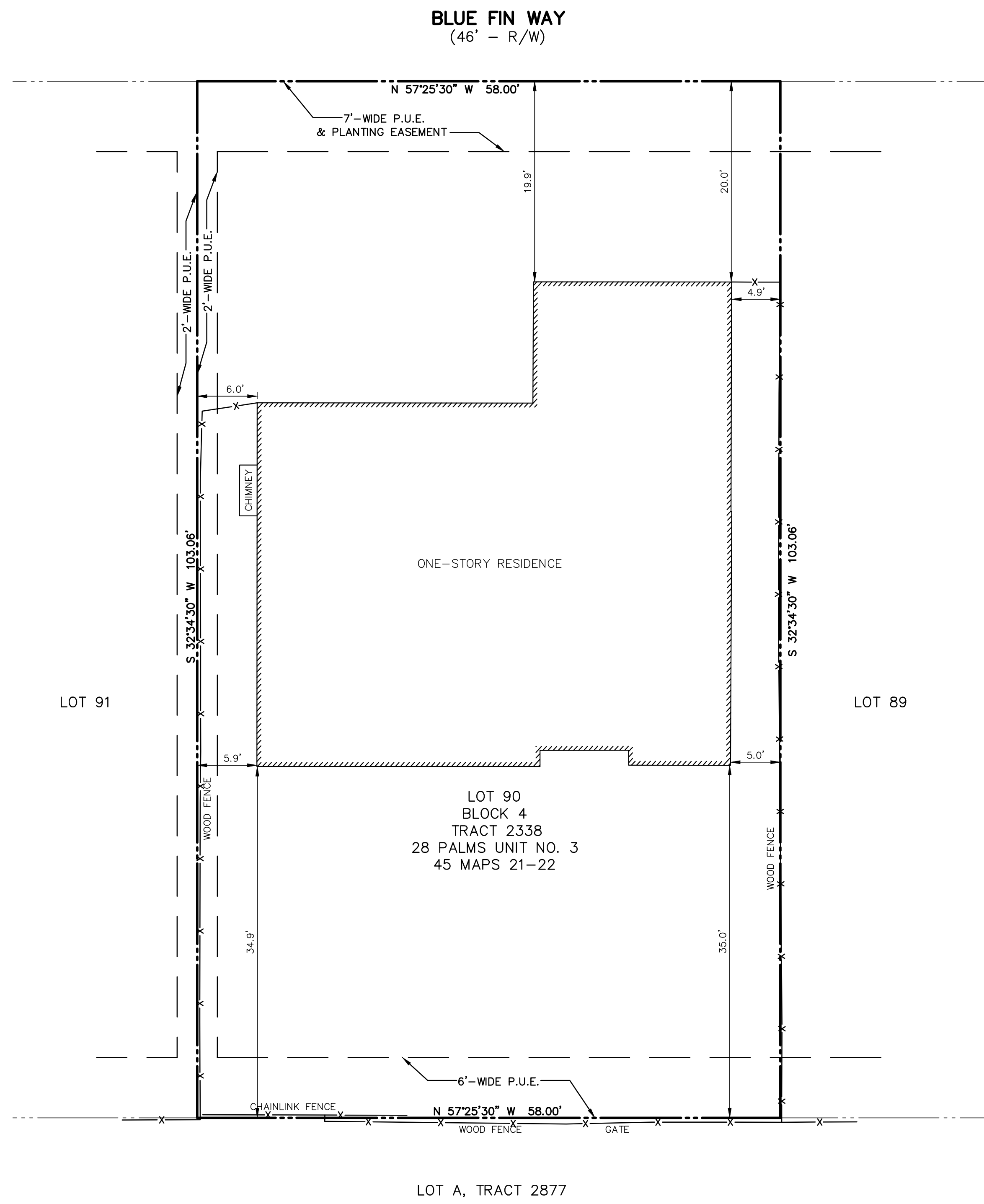
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A-8



**LEGEND**

- — — — — PROPERTY LINE
- X-X- FENCE
- P.U.E. PUBLIC UTILITY EASEMENT

**NOTE:**

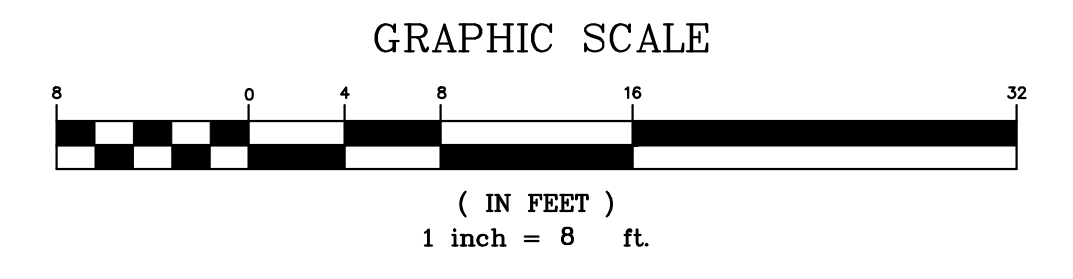
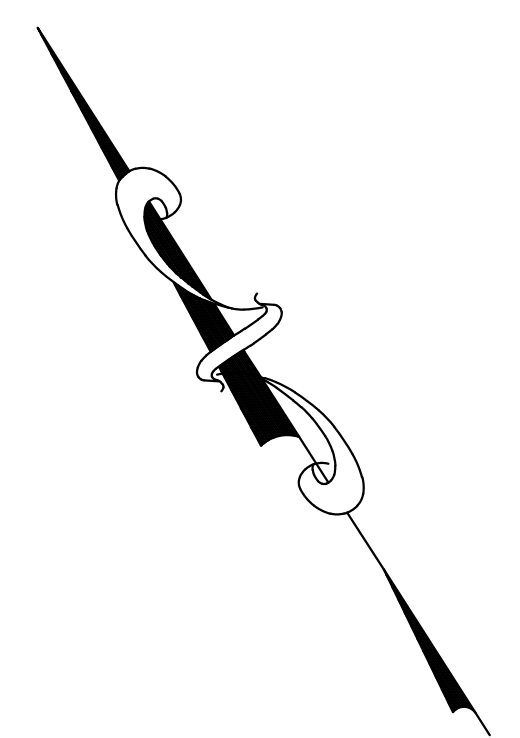
FOUNDATION NOT VISIBLE. ALL BUILDING TIE DIMENSIONS ARE MEASURED FROM FACE OF EXISTING FINISH MATERIAL PERPENDICULAR TO PROPERTY LINE.

**EASEMENT NOTE:**

EASEMENTS SHOWN ARE PER TRACT 2338 (45 MAPS 21). OTHER EASEMENTS, IF ANY, ARE NOT INDICATED HEREON.

**LOT AREA:**

- = 5,977 SQ. FT. ±
- = 0.137 ACRES ±



REV.	DESCRIPTION	BY:	DATE:

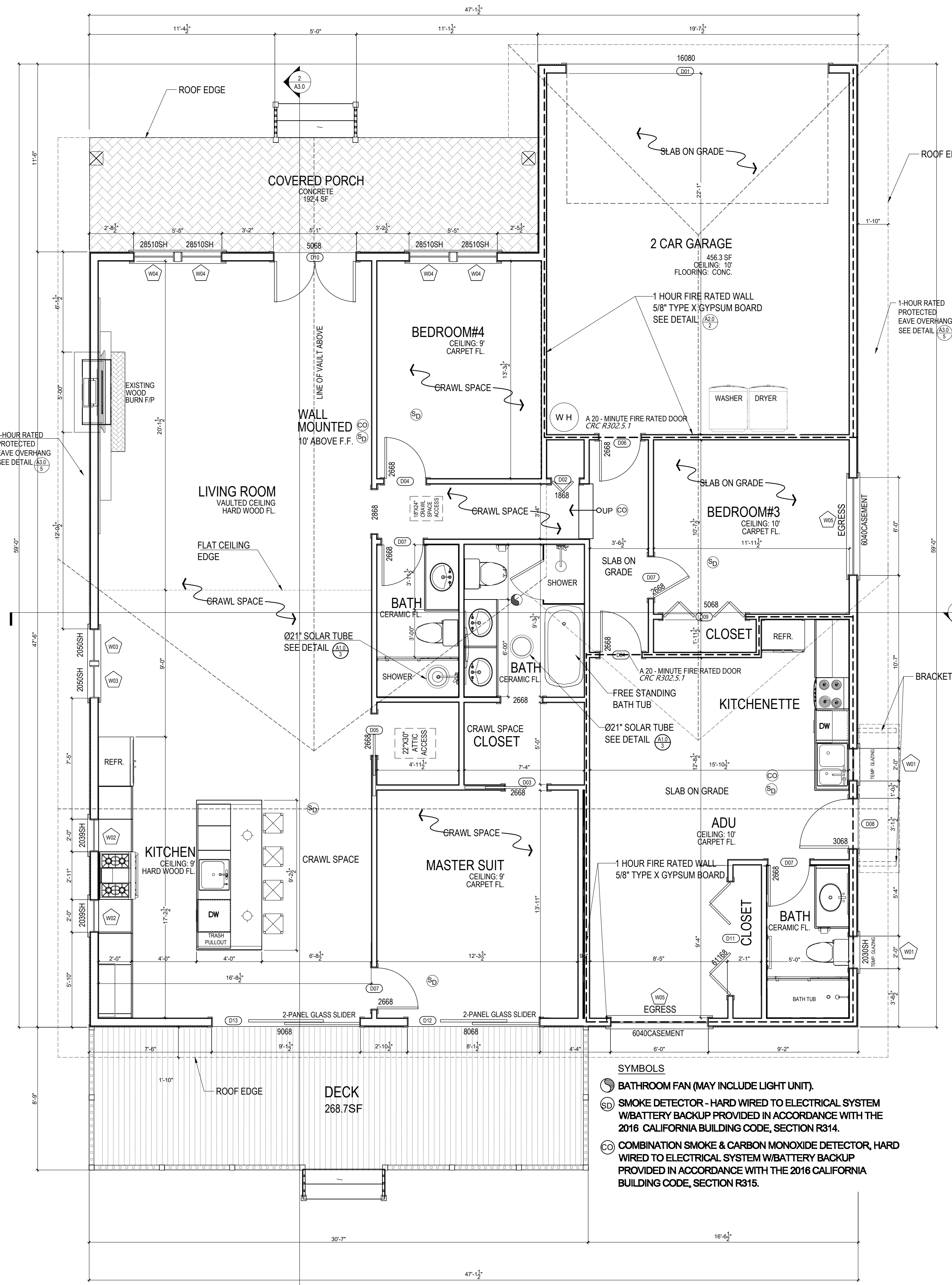
**MACLEOD AND ASSOCIATES**  
 CIVIL ENGINEERING • LAND SURVEYING  
 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8580

PREPARED FOR:  
KAMAL UDDIN

**HOUSE AND FENCE LOCATION PLAN**  
 39459 BLUE FIN WAY  
 A.P.N. 531-20-78  
 LOT 90, BLOCK 4, TRACT 2338, 45 MAPS 21-22  
 FREMONT ALAMEDA COUNTY CALIFORNIA

DRAWN BY: DPM  
 DESIGNED BY: ---  
 CHECKED BY: DGM  
 SCALE: 1"=8'

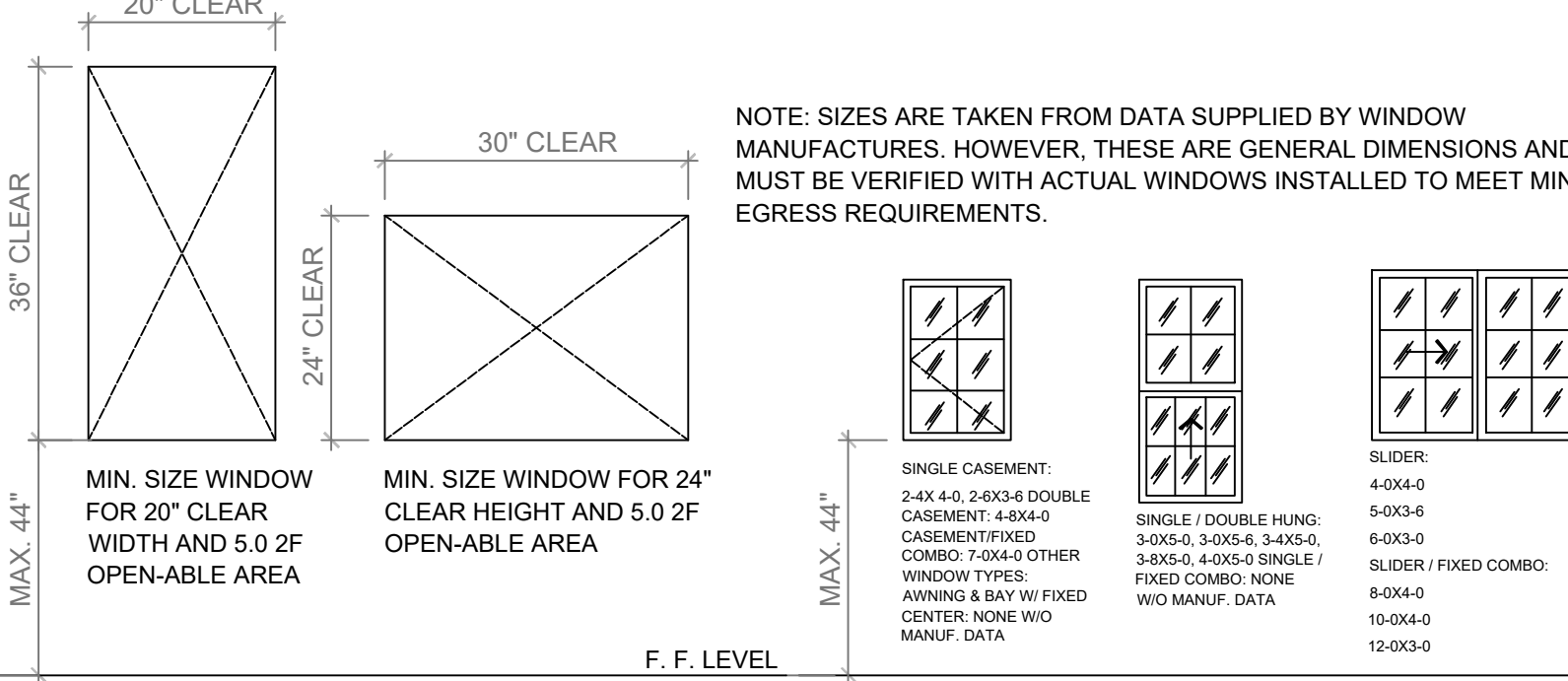
**A-9**



**PROPOSED FLOOR PLAN**  
Scale: 1/4" = 1' - 00"

- SYMBOLS**
- BATHROOM FAN (MAY INCLUDE LIGHT UNIT)
  - SMOKE DETECTOR - HARD WIRED TO ELECTRICAL SYSTEM W/BATTERY BACKUP PROVIDED IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE, SECTION R314.
  - COMBINATION SMOKE & CARBON MONOXIDE DETECTOR, HARD WIRED TO ELECTRICAL SYSTEM W/BATTERY BACKUP PROVIDED IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE, SECTION R315.

**EMERGENCY ESCAPE / RESCUE OPENING (R310)**



**BUILDING CODE REQUIREMENT**

ANY ACCESS DOOR TO THE CRAWL SPACE MUST BE AT LEAST 18X24 INCHES (2015 INTERNATIONAL CONFORM TO SPECIFICATIONS RESIDENTIAL CODE (IRC) - SECTION R408.4).

ANY DRAIN LOCATED IN THE CRAWL SPACE MUST BE ALLOWED TO RUN OFF AND TERMINATE OUTDOORS OR NEED TO MEET SPECIFICATIONS TO AN INTERIOR CRAWL SPACE DRAIN OR SUMP PUMP. CRAWL SPACE DRAINS MAY NOT RUN OFF TO GUTTERS OR FOUNDATION PERIMETER DRAINS, AND DRYER VENTS MUST BE TERMINATED OUTDOORS (2015 IRC - SECTIONS R405 AND P2719).

(R408.1), 2009 IRC- OPENINGS FOR UNDER-FLOOR VENTILATION:  
THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT (0.0929 M2) FOR EACH 150 SQUARE FEET (14 M2) OF UNDER-FLOOR SPACE AREA.  
1350/150 = 9 SF  
(8\"X16\") VENT DIMENSION = .88 SF  
9/.88 = 10.2

10 VENTS NEEDED  
GARAGE EXTERIOR WALLS TO BE INSULATED WITH R-23 ROCKWOOL BATT INSULATION AND INTERIOR FINISHED WITH 5/8\" DRYWALL.

**VENTILATION NOTES:**

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY.

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

GARAGES SHALL BE VENTED WITH 60 SQUARE INCHES LOCATED 6\" ABOVE THE FLOOR SURFACE.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

**DOOR AND WINDOW NOTES:**

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44\" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20\" WIDE OR 24\" HIGH.

ALL WALK , THRU DOORS SHALL BE SOLID CORE.

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING.

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4\" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING.

EXTERIOR EXIT DOORS WILL BE 36\" MIN. NET CLEAR DOORWAY SHALL BE 32\" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U , VALUE OF 0.60

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS  
DESIGN U-FACTOR = 0.35  
DESIGN SHGC = 0.40  
U-VALUE AND SOLAR HEAT GAIN COEFFICIENT (SHGC) MINIMUMS PER CLIMATE ZONE 3A

SECTION 1026 OF THE 2016 INTERNATIONAL BUILDING CODE /SECTION 310 OF THE 2016 INTERNATIONAL RESIDENTIAL CODE

BASEMENTS IN A DWELLING UNIT AND EVERY SLEEPING ROOM BELOW THE FOURTH STORY (INCLUDES ROOMS WHICH COULD BE USED FOR SLEEPING SUCH AS DENS, SEWING ROOMS, STUDY, ETC.) MUST HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD, OR EXIT COURT. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS.

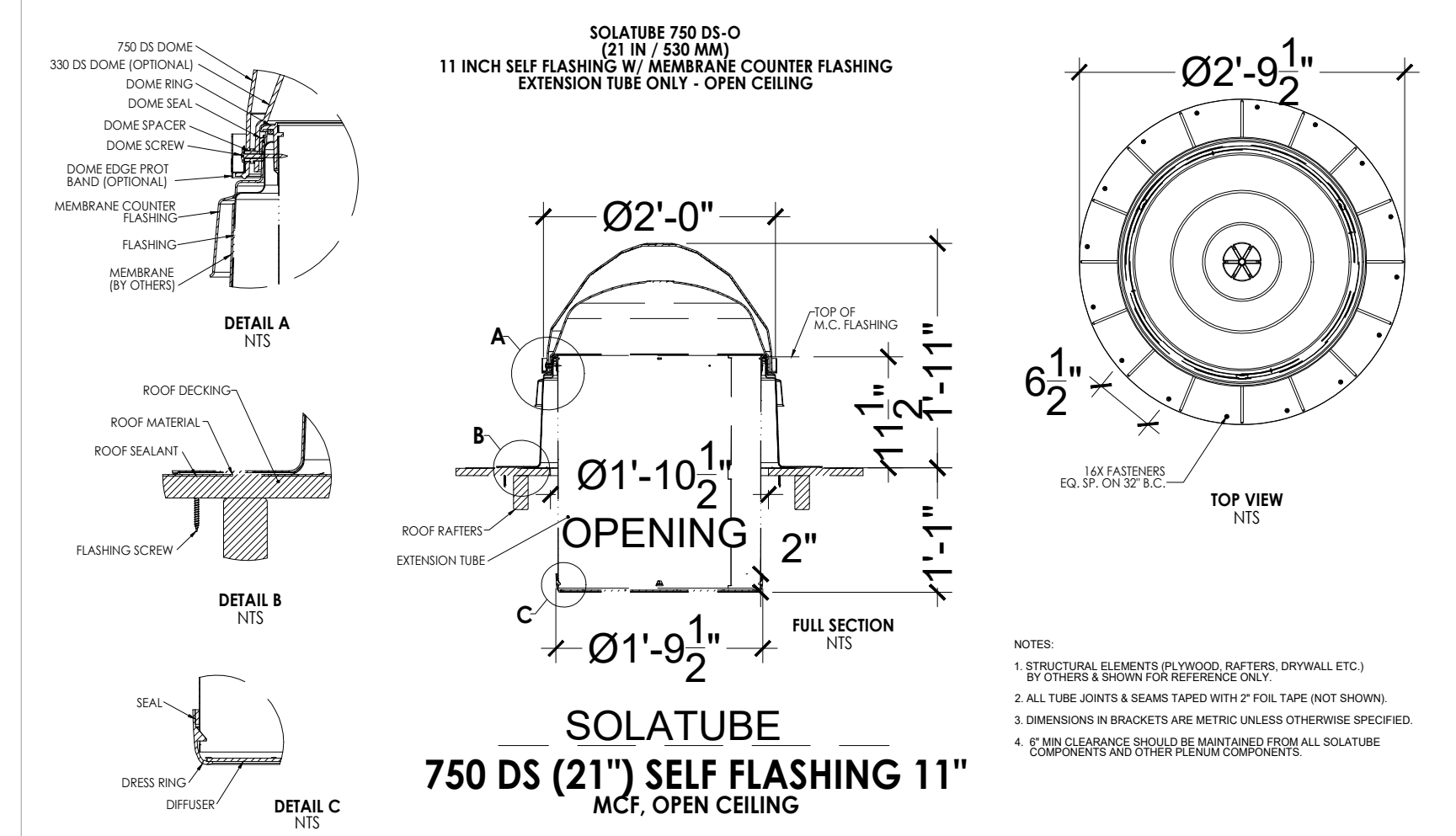
FOR FULL EGRESS, ESCAPE OR RESCUE WINDOWS ARE REQUIRED TO HAVE A MINIMUM NET CLEAR OPEN-ABLE AREA OF 5.7 SQ. FT. (820.8 SQ IN). EXCEPTION: MAY BE REDUCED TO 5.0 SF (720 SQ IN) IF 44\" OR LESS FROM EXTERIOR GROUND LEVEL TO SILL. THE MINIMUM NET CLEAR OPEN-ABLE HEIGHT DIMENSION MUST BE 24 INCHES. THE MINIMUM NET CLEAR OPEN-ABLE WIDTH DIMENSION MUST BE 20 INCHES. THEY MUST ALSO HAVE A FINISHED SILL HEIGHT (CLEAR OPENING) OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. IN ORDER TO MEET THE REQUIRED NET-CLEAR OPEN AREA SQUARE-FOOT OPENING, EITHER THE WIDTH OR HEIGHT OR BOTH MUST EXCEED THE MINIMUM DIMENSIONS THEREOF.

WHEN REPLACING EXISTING NONCONFORMING WINDOWS REQUIRED FOR EMERGENCY ESCAPE AND RESCUE THE REPLACEMENT WINDOWS MUST MEET THE FOLLOWING:

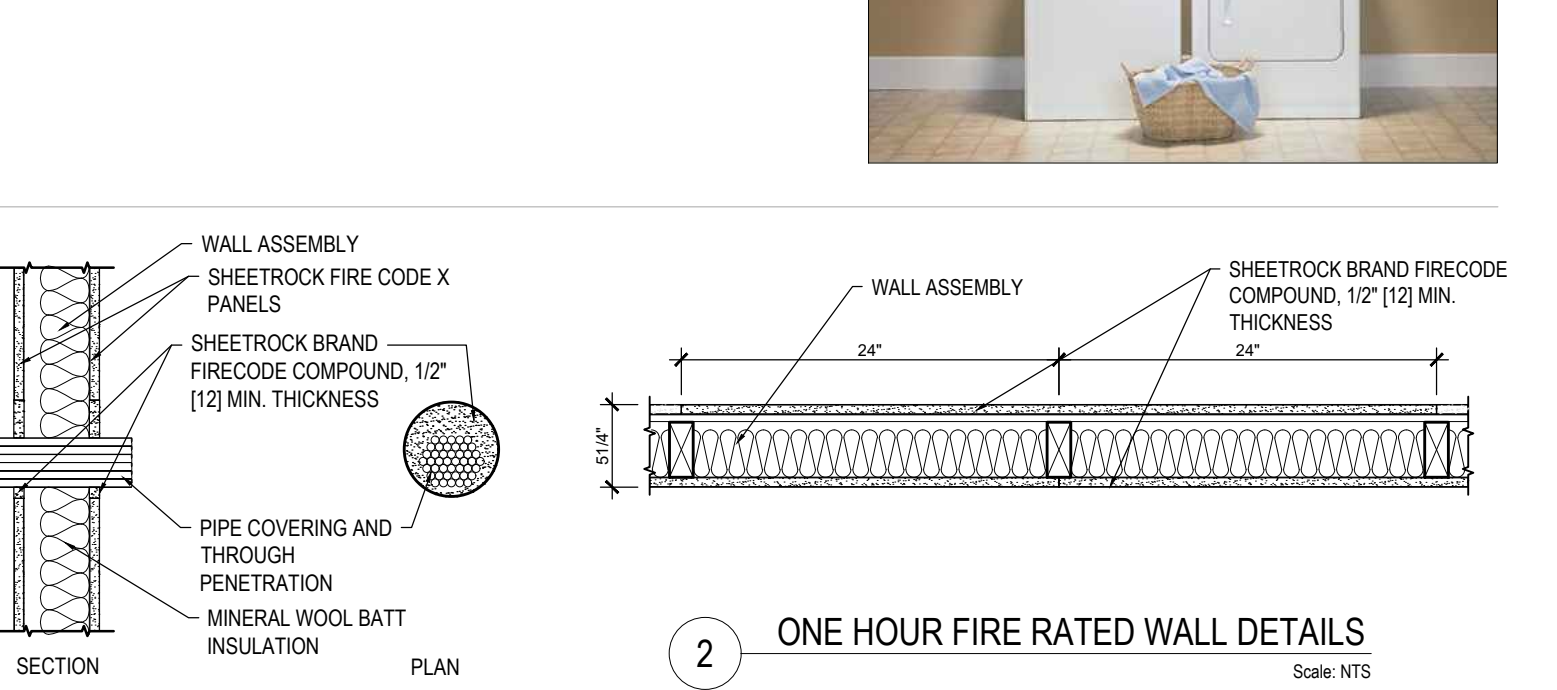
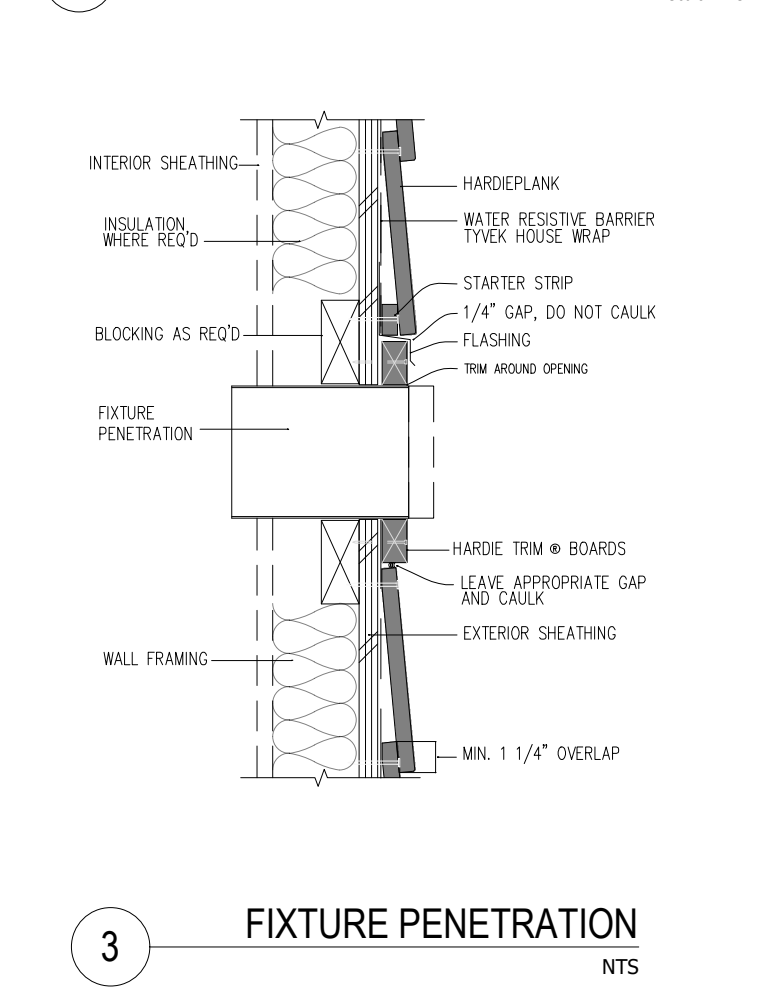
EMERGENCY ESCAPE AND RESCUE REPLACEMENT WINDOW OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 4 SQ. FT., MINIMUM NET CLEAR OPENING HEIGHT OF 22 INCHES; MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES. MINIMUM SILL HEIGHT OF NOT MORE THAN 48 INCHES ABOVE THE FLOOR OR THE INSTALLATION OF ONE OR MORE PERMANENTLY AFFIXED STEPS EXTENDING THE FULL WIDTH OF THE WINDOW OPENING, CONSTRUCTED TO THE CURRENT ADOPTED IRC RISE AND RUN DIMENSIONAL REQUIREMENTS, SO THAT THE TOP STEP IS NO GREATER THAN 44 INCHES TO THE TOP OF THE SILL WHERE THE EXISTING ROUGH OPENING DOES NOT ALLOW FOR REPLACEMENT WINDOW DIMENSIONAL REQUIREMENTS THE ROUGH OPENING SHALL BE ENLARGED AND THE REPLACEMENT WINDOW SHALL MEET THE FULL EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC SECTION R310.1 THROUGH R310.5 OR IBC SECTION 1026 AS APPLICABLE FOR SCOPE OF PROJECT.

ADDITIONAL GLAZING REQUIREMENTS:  
FOR MINIMUM LIGHT, ALL SLEEPING ROOMS AND OTHER HABITABLE ROOMS REQUIRE GLAZING EQUAL TO AT LEAST 8% OF THE FLOOR AREA OF THE ROOM; MINIMUM VENTILATION OF 4% OF THE FLOOR AREA. SEE THE INTERNATIONAL BUILDING OR RESIDENTIAL CODES AS APPLICABLE FOR EXCEPTIONS AND A COMPLETE LIST OF LIGHT AND VENTILATION REQUIREMENTS.

SAFETY GLAZING IS REQUIRED IN DOORS, STORM DOORS, RAILINGS, WITHIN 24 INCHES OF A DOOR, OR WHEN PANES ARE OVER 9 SQUARE FEET AND WITHIN 18 INCHES OF THE FLOOR. SEE THE INTERNATIONAL BUILDING OR RESIDENTIAL CODES FOR EXCEPTIONS AND A COMPLETE LIST OF SAFETY GLAZING REQUIREMENTS.



**SOLATUBE DETAILS**



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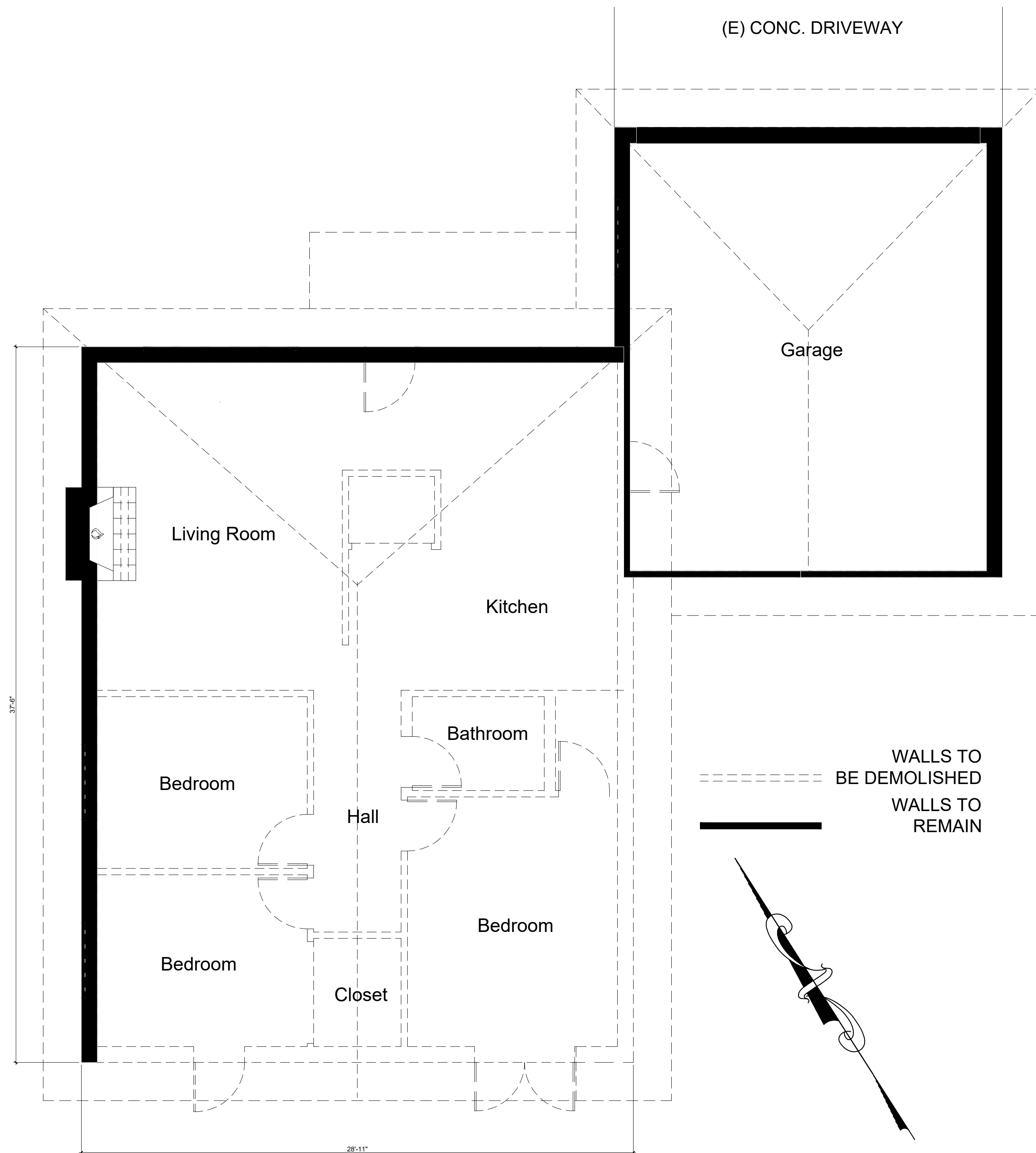


Date: Nov. 10, 2021  
Scale: 1/4" = 1' - 00"

DRAWING TITLE:  
**PROPOSED FLOOR PLAN**

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(E) CONC. DRIVEWAY



1 PROPOSED DEMO. PLAN  
Scale: 1/4" = 1' - 00"

**GENERAL DEMOLITION NOTES**

- 1 - ALL DASHED WALLS, DOORS, AND WINDOWS ARE TO BE REMOVED.
- 2 - CONTRACTOR TO INSTALL TEMPORARY SHORING AS REQ'D. TO SUPPORT STRUCTURE UNTIL NEW PERMANENT SUPPORT IS IN PLACE.
- 3 - REMOVE EXISTING ROOF FRAMING AS INDICATED BY DASHED AREAS ON PLAN.
- 4 - REMOVE EXISTING SIDING MATERIAL AS REQ'D. AND PREPARE FOR NEW PER PLAN.
- 5- GARAGE ROOF FRAME REMAIN AS IS, ONLY ROOF SHINGLES WILL CHANGE TO MATCH THE EXISTING.

**GENERAL RENOVATION NOTES**

- 1- CONTRACTORS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
- 2- ALL NEW INTERIOR WALLS TO BE 2x4 STUDS (3 1/2") fa 16" O.C. W/ 1/2" GYP. BRD. - USE MOISTURE RESISTANT GYP. BRD. & PLUMBING FIXTURES.
- 3- ALL AREAS DISTURBED BY CONSTRUCTION WHICH ARE TO REMAIN UNTOUCHED ARE TO BE RETURNED TO ORIGINAL CONDITION.
- 4- STRUCTURAL HEADERS & BEAMS (2) 2x10's (MIN) & POSTS 2-STUD (MIN) S.Y.P. #2 (UNLESS NOTED OTHERWISE)

**DEMOLITION NOTES**

1. DEMOLITION DRAWINGS ARE SCHEMATIC. REMOVE ALL WORK AS INDICATED AND AS REQUIRED TO COMPLETE NEW CONSTRUCTION AS INDICATED.
2. NOTES AND SYMBOLS ARE TO APPLY AT ALL AREAS OF SIMILAR GRAPHIC REPRESENTATION. SUCH INDICATIONS MAY BE LIMITED TO PROMOTE CLARITY OR AVOID REDUNDANCY. NO LIMITATION OF APPLICATION SHALL BE CONSTRUED WITHOUT SPECIFIC NOTATION.
3. NOTIFY LOCAL AGENCY HAVING JURISDICTION PRIOR TO STARTING DEMOLITION WORK. COMPLY WITH ALL AGENCY REQUIREMENTS.
4. OWNER WILL REMOVE FURNITURE, STORED MATERIALS AND MOVABLE EQUIPMENT IN THE AREA OF WORK PRIOR TO START OF DEMOLITION.
5. VERIFY EXISTING CONDITIONS AND INVERT ELEVATIONS OF UNDERGROUND UTILITIES PRIOR TO DEMOLITION. NOTIFY DESIGNER OF DISCREPANCIES AND REQUEST DIRECTION.
6. DRAWINGS ARE PREPARED FROM INFORMATION MADE AVAILABLE BY THE OWNER AND ARE NOT A GUARANTEE OF EXISTING OR CONCEALED CONDITIONS.
7. PROVIDE ALL SHORING, BRACING AND SUPPORTS REQUIRED TO PREVENT SETTLEMENT OR DISPLACEMENT.
8. DISCONNECT ALL AFFECTED UTILITIES PRIOR TO STARTING DEMOLITION WORK.
9. NEATLY CUT AND REMOVE SURFACES AND FINISHES AS REQUIRED OR TO A NATURAL POINT OF DIVISION TO ENABLE INSTALLATION OF UTILITIES OR OTHER CONCEALED WORK, WHETHER SPECIFICALLY SHOWN OR INFERRED FOR SUPPORT OR RENOVATION.
10. PROTECT EXISTING WORK DESIGNATED TO REMAIN FROM DAMAGE DUE TO DEMOLITION AND RECONSTRUCTION WORK.
11. REPAIR AND REPLACE ALL EXISTING SURFACES AND FINISHES TO MATCH EXISTING UNDISTURBED WORK.
12. CAP ALL ABANDONED UTILITIES BEHIND FACE OF NEW FINISHES, INCLUDING FINISH GRADE OR PAVING, RECORD ALL LOCATIONS ON RECORD DOCUMENTS.
13. SEE SITE PLAN(S) FOR DEMOLITION OF SITE FEATURES NOT OTHERWISE INDICATED, INCLUDING PAVING, UNDERGROUND UTILITIES AND SERVICES.
14. SEE STRUCTURAL DRAWINGS FOR DEMOLITION OF SHEAR WALLS, INTERIOR PARTITIONS, AND TRENCHES FOR INSTALLATION OF UNDERGROUND UTILITIES.
15. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION OF ITEMS NOT OTHERWISE INDICATED, INCLUDING UNDERGROUND OR CONCEALED UTILITIES AND SERVICES.
16. ALL DEMOLISHED MATERIALS ARE THE PROPERTY OF THE CONTRACTOR, EXCEPT FOR SUCH ITEMS AS THE OWNER WISHES TO CLAIM. STOCKPILE THESE ITEMS ON THE SITE AS DIRECTED BY THE OWNER.
17. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF IN A LEGAL MANNER AT A LOCAL RECYCLING FACILITY.
18. REMOVE ALL EXISTING NAILS, TACKS, STAPLES, HANGER WIRES, SIGNAL WIRES, CABLES AND SIMILAR ITEMS FROM SURFACES TO REMAIN. PREPARE ALL REMAINING SURFACES /SUBSTRATE TO RECEIVE INDICATED FINISHES.
19. REMOVE AND STORE DESIGNATED EQUIPMENT / MATERIALS FOR RE-INSTALLATION AS INDICATED.
20. SELECTIVE DEMOLITION INDICATED IN THESE CONTRACT DOCUMENTS EXCLUDES REMOVAL OF HAZARDOUS MATERIALS AND TOXIC SUBSTANCES.
21. PRIOR TO START OF WORK, REFER TO HAZARDOUS MATERIALS SURVEY OR ABATEMENT DOCUMENTATION PROVIDED BY OWNER. HAZARDOUS MATERIALS MAY BE PRESENT ON THE SITE OR IN EXISTING CONSTRUCTION. THESE CONTRACT DOCUMENTS DO NOT CONTAIN MEASURES OR PRECAUTIONS FOR HAZARDOUS MATERIALS ABATEMENT.
22. IF HAZARDOUS MATERIALS ARE DISCOVERED OR SUSPECTED DURING DEMOLITION OPERATIONS, STOP WORK AND NOTIFY OWNER'S REPRESENTATIVE FOR INSTRUCTIONS IMMEDIATELY. TAKE MEASURES TO PROTECT WORKERS AND PUBLIC. DIRECT ALL QUESTIONS ABOUT HAZARDOUS MATERIALS TO THE OWNER'S REPRESENTATIVE.
23. COORDINATE DEMOLITION WITH WORK OF HAZARDOUS MATERIAL ABATEMENT WORK AS DIRECTED BY OWNER.

**DEMOLITION DEBRIS & WASTE SOURCE VOLUME CALCULATIONS**

**ABBREVIATIONS AND CONVERSION FACTORS**

**ABBREVIATIONS**

C&D	CONSTRUCTION AND DEMOLITION
CY	CUBIC YARDS
CF	CUBIC FEET
EA	EACH
FT	FEET
FT2	SQUARE FEET
FT3	CUBIC FEET
SA	SURFACE AREA
SY	SQUARE YARDS
V	VOLUME

**CONVERSION FACTORS**

- 1 FT2 = 1/9 SY
- 1 FT3 = 1/27 CY
- 1 TON OF C&D DEBRIS = 2 CY (PER FEMA DEBRIS ESTIMATING FIELD GUIDE)
- 1 CY WASTE SOURCE MATERIAL = 1.76 TONS

**EMPIRICAL EQUATIONS**

GENERAL BUILDING DEBRIS ESTIMATION FORMULA (PER FEMA, DEBRIS ESTIMATING FIELD GUIDE, FEMA PUBLICATION NO. 329, SEPTEMBER 2010).

$$\frac{\text{LENGTH X WIDTH X HEIGHT X } 0.33}{27} = \text{CY}$$

**DIMENSIONS:**

- LENGTH = 37.5 FT
- WIDTH = 29 FT
- HEIGHT = 16 FT

$$\text{GENERAL BUILDING C \& D DEBRIS VOLUME} = \frac{37.5 \times 29 \times 16 \times 0.33}{27} = 13.29 \text{ CY}$$

Demolition percentage is more than 50%, therefore AFS (Automatic Fire Sprinklers) system will be required and shall be installed.



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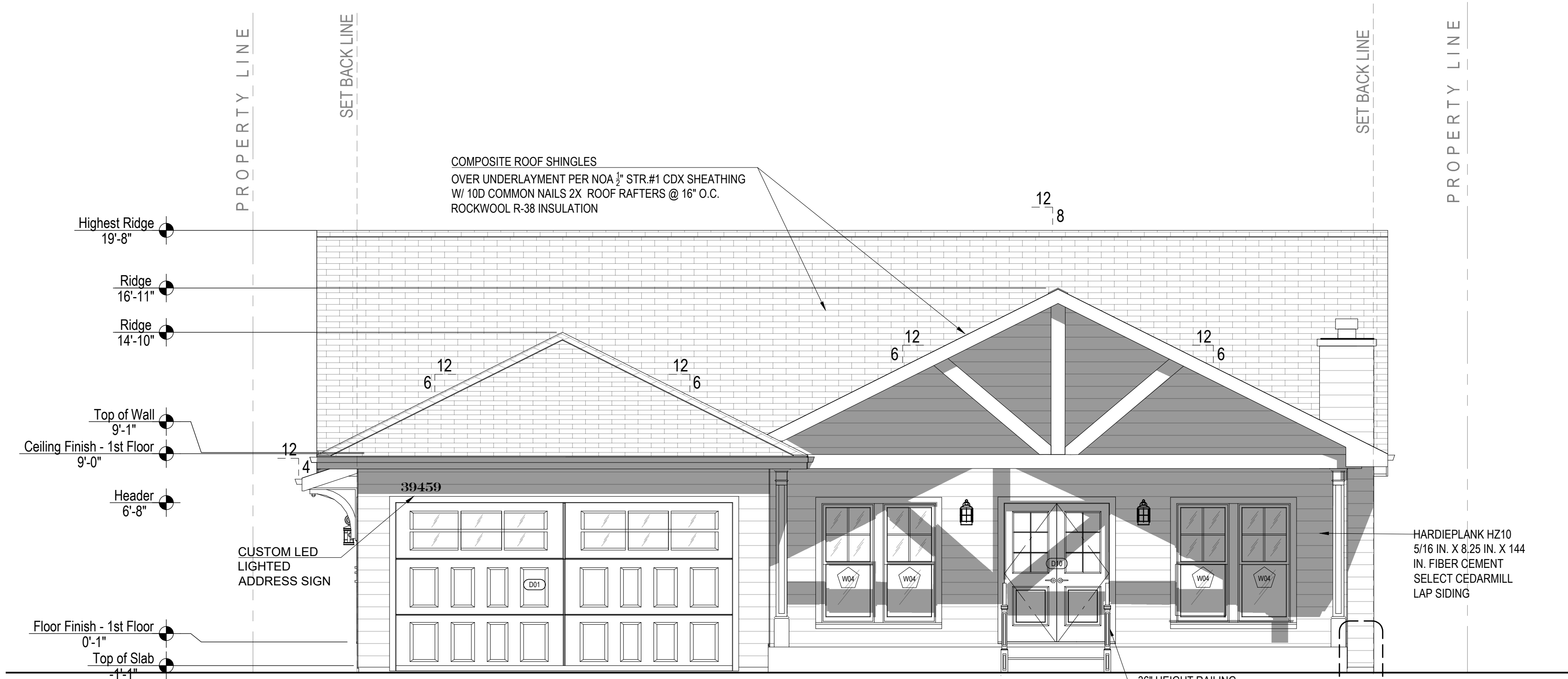
DRAWING TITLE:

PROPOSED DEMO. PLAN

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**A-11**



**PROPOSED NORTH (FRONT) ELEVATION**

Scale: 1/4" = 1' - 00"

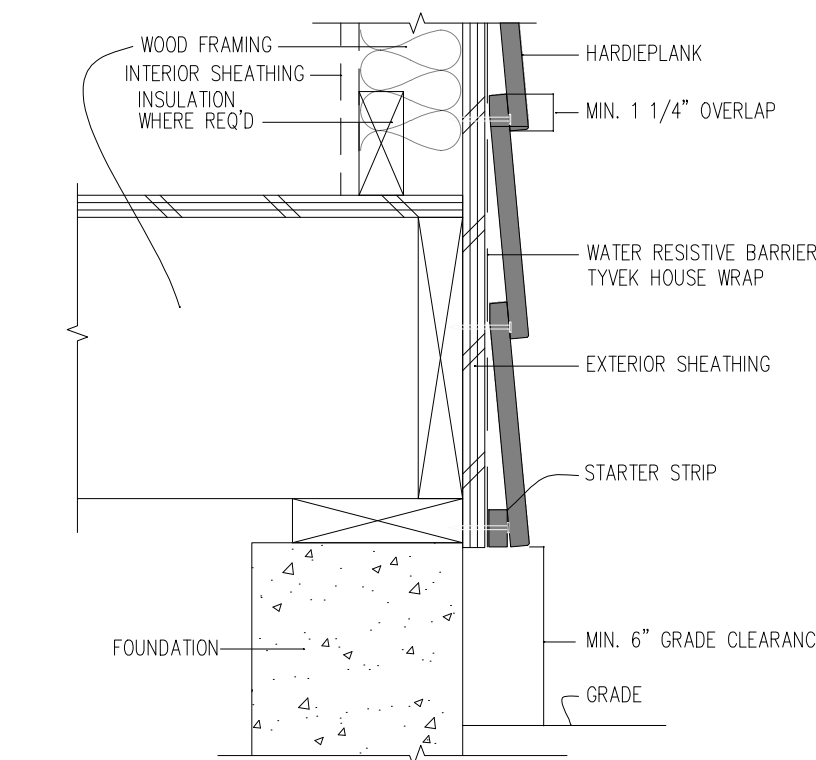
1

**EXTERIOR ELEVATION NOTES**

- NOTES AND SYMBOLS ARE TO APPLY AT ALL AREAS OF SIMILAR GRAPHIC REPRESENTATION. SUCH INDICATIONS MAY BE LIMITED TO PROMOTE CLARITY OR AVOID REDUNDANCY.
- SLOPE FINISH GRADE 2% MINIMUM AWAY FROM BUILDING FOR 5'-0" MINIMUM, DIRECT DRAINAGE AWAY FROM BUILDING WALLS TO ELIMINATE PONDING.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR GRILLES, REGISTERS, HORNS, SPEAKERS, PANELS, PULL STATIONS AND OTHER FEATURES NOT OTHERWISE SHOWN
- FLASH AND SEAL ALL PENETRATIONS THROUGH EXTERIOR ROOFS AND WALLS, AND FLOORS WEATHER TIGHT AND WATERPROOF. PACK ALL PENETRATIONS THROUGH THE BUILDING INSULATION ENVELOPE WITH INSULATION.
- FLASH ALL WINDOWS, DOORS, LOUVERS, ACCESS PANELS AND SIMILAR WALL OPENINGS PER DETAILS.
- FIREBLOCKING, CBC 717.2: PROVIDE MATERIALS COMPLYING WITH CBC 717.2.1 AT CONCEALED SPACES, FURRED SPACES, CEILING/FLOOR LEVELS AND 10'-0" INTERVALS ALONG LENGTH OF WALL, SOFFITS, DROP CEILINGS, AND COVE CEILINGS, CONCEALED PLACES BETWEEN STAIR STRINGERS & BETWEEN STUDS IN LINE WITH STAIR RUN, AND ALL LOCATIONS LISTED IN CBC 717.2.2 THROUGH 717.2.7.
- FLOOR/CEILING DRAFTSTOPPING, CBC 717.3: PROVIDE MATERIALS COMPLYING WITH CBC 717.3.1. AT FLOOR/CEILING ASSEMBLIES AS REQUIRED BY CBC 717.3.2 THROUGH 717.3.3. -GROUP R-1, R-2, R-3, R-4  
EXCEPTION: DRAFTSTOPPING NOT REQUIRED IN BUILDINGS SPRINKLERED PER CBC 903.3.1.1.  
EXCEPTION: DRAFTSTOPPING NOT REQUIRED IN BUILDINGS SPRINKLERED PER CBC 903.3.2.1 WHEN SPRINKLERS ARE INSTALLED IN THE COMBUSTIBLE CONCEALED SPACES
- ATTIC DRAFTSTOPPING, CBC 717.4: PROVIDE MATERIALS COMPLYING WITH CBC 717.3.1. IN ATTICS AND CONCEALED ROOF SPACES AS REQUIRED BY CBC 717.4.2 THROUGH 717.4.3. PROVIDE SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR DRAFTSTOPPING PARTITIONS.
- REFER TO REFLECTED CEILING PLAN FOR LOCATION OF CLERESTORY WINDOWS, TYPICAL.
- ELEVATIONS SHOWN ARE MEASURED FROM FINISHED FLOOR DATUM FOR THIS BUILDING.
- NEW WORK PROVIDE BLOCKING, BACKING, FRAMING, SHEATHING, UTILITIES OR OTHER CONCEALED WORK, WHETHER SPECIFICALLY SHOWN OR INFERRED. REFER TO STRUCTURAL DRAWINGS FOR CONCEALED WORK NOT SHOWN ON ARCHITECTURAL DRAWINGS.
- REMODEL/ADDITION WORK NEATLY CUT AND REMOVE SURFACES AND FINISHES AS REQUIRED OR TO A NATURAL POINT OF DIVISION TO ENABLE INSTALLATION OF BLOCKING, BACKING, FRAMING, SHEATHING, UTILITIES OR OTHER CONCEALED WORK, WHETHER SPECIFICALLY SHOWN OR INFERRED FOR SUPPORT OR RENOVATION. REFER TO STRUCTURAL DRAWINGS FOR CONCEALED WORK NOT SHOWN ON ARCHITECTURAL DRAWINGS.
- REPAIR AND REPLACE ALL EXISTING SURFACES AND FINISHES TO MATCH EXISTING UNDISTURBED WORK.
- ALL NEW ADDITION WORK FINISHES AND COLORS FOR SIDING, TRIM, WINDOWS, ROOFING, ETC. ARE TO MATCH EXISTING FINISHES AND COLORS.

**NOTES**

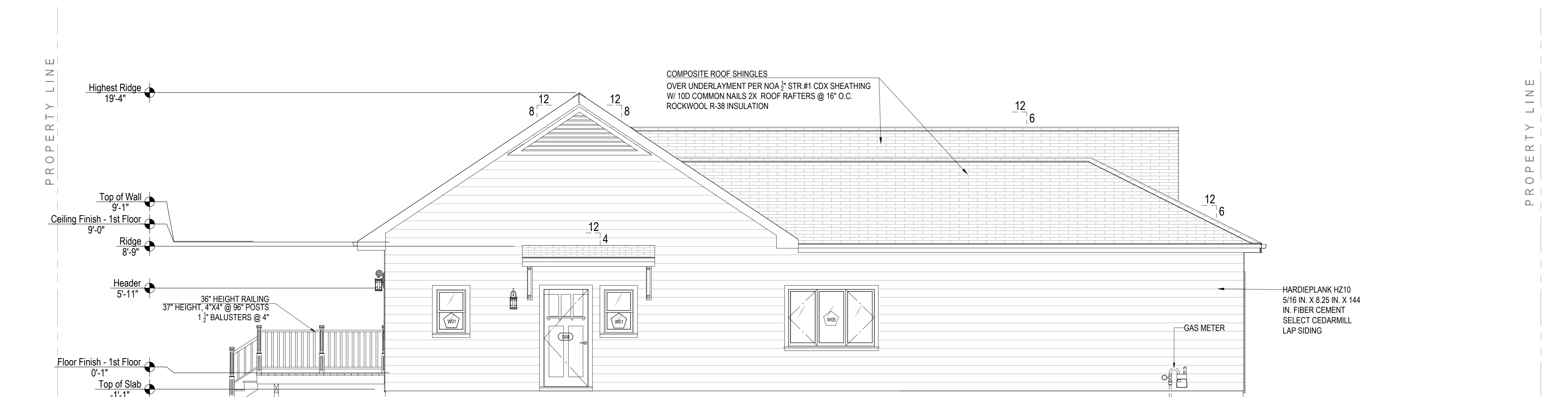
- ATTICS: ACCESS PER CRC R807, DRAFTSTOPS PER CRC R302.10 & R502.12 AND VENTILATION PER R806 & R408.1.
- WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED, THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR.
- PER CRC 310.1.
- GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" MEASURED VERTICALLY ABOVE A STANDING OR WALKING SURFACE. PER CRC R308, R303.17 R301.2.1.2.
- FACTORY-BUILT FIREPLACES AND CHIMNEYS PER CRC R1004, R1005, R1006, A.Q.M.D. RULE 445, AND CAL-GREEN SECTION 4.503.1.
- COMBUSTION AIR TO FORCED AIR UNIT PER CMC CHAPTER 7.
- COMBUSTION AIR TO WATER HEATER PER CPC SECTION 507.0.
- ENVIRONMENTAL AIR DUCTS PER CMC SECTION 504.
- MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CMC 307.
- PER THE BUILD IT GREEN PROGRAMS "GREENPOINT RATING CHECKLIST" SECTION P(D)2, MOISTURE MATERIALS SHALL BE USED IN WET AREAS (i.e. KITCHEN, BATHROOM, UTILITY ROOMS, ETC.) EXTERIOR DOOR LANDING SHALL BE A MAX. OF 7-3/4" BELOW DOOR THRESHOLD PER CRC R311.3.2.
- GRADE NEEDS TO FALL 6" WITHIN THE FIRST 10'
- CONCRETE SLAB THICKNESS FOR PORCH AND PATIO SLAB SHALL BE 3 1/2" MIN. REQUIRED PER R506.1



**GRADE CLEARANCE**

NTS

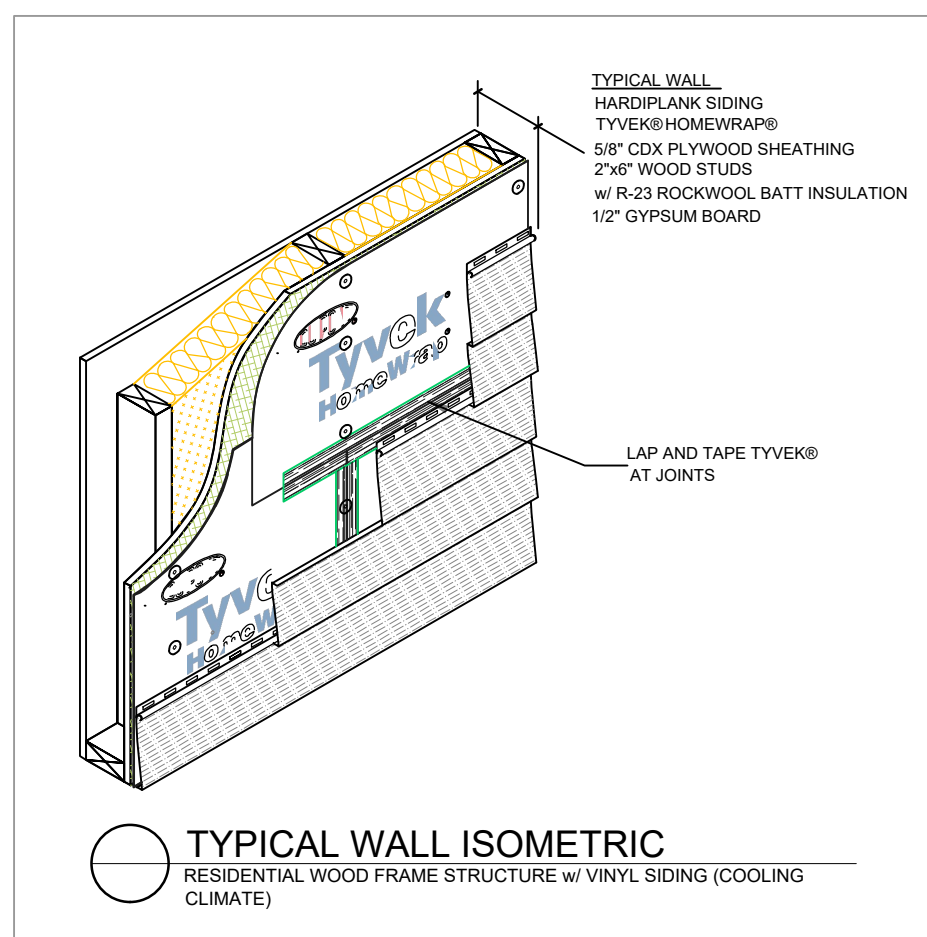
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**PROPOSED EAST ELEVATION**

Scale: 1/4" = 1' - 00"

2



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Addition & ADU for  
**Mrs. Sadaf Ahmad**  
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Date: Nov. 10, 2021

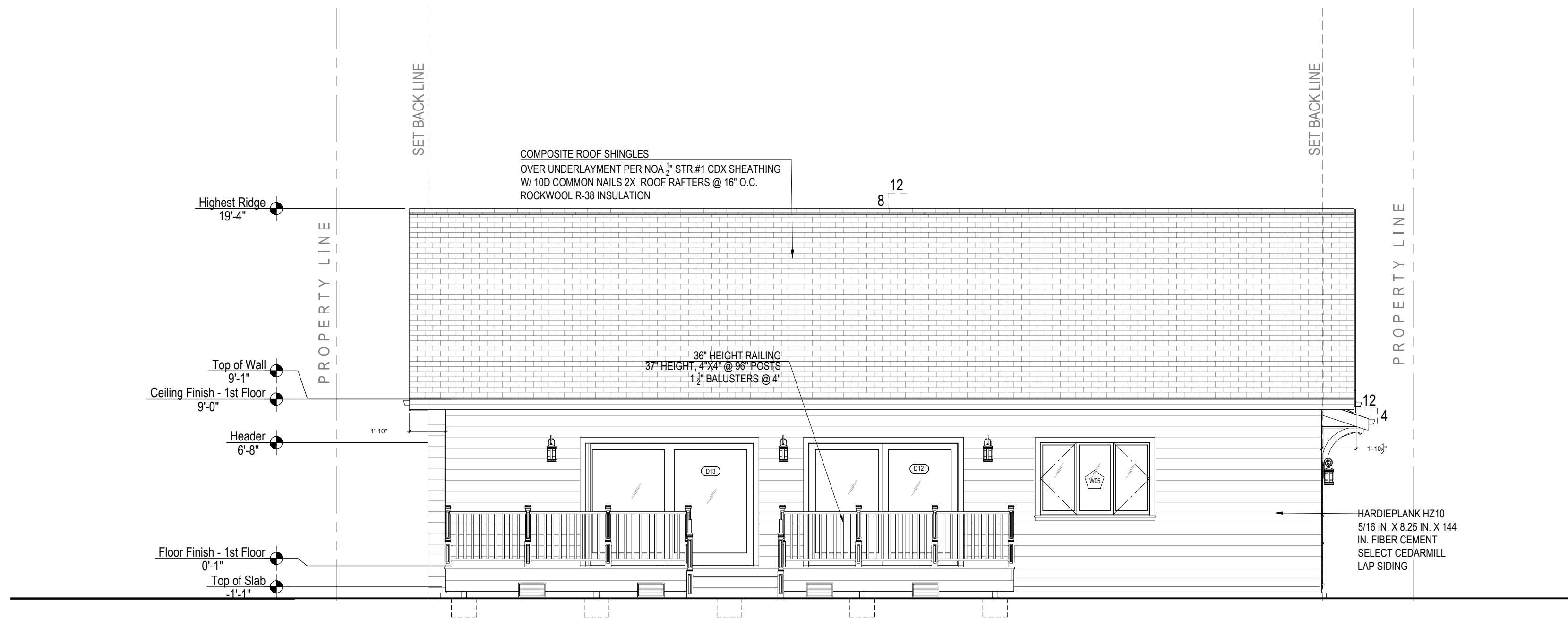
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**PROPOSED NORTH & EAST ELEVATIONS**

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**A-12**



**PROPOSED SOUTH ELEVATION**

Scale: 1/4" = 1' - 00"

1

**NOTE: ROOF SHALL BE A FIRE-RETARDANT. ROOF COVERING THAT IS AT LEAST CLASS A.**  
Section 705A of the 2019 California Building Code

COMPOSITE ROOF SHINGLES, COLOR BY OWNER

All alteration, repair, replacement or reroofing shall conform to the applicable provisions of the 2019 California Building Code Section "1604 General Design Requirements" and any other applicable engineering requirements, including Chapter, "15Roof Assemblies and Rooftop Structures" of this code.  
707A 3.1.2 Exterior wall covering. All exterior faces of the exterior walls shall be of an assembly qualified for exterior face of recognized one-hour fire resistive assemblies. All exterior wall coverings shall meet a Class 1 flame spread requirement and be installed over materials approved for one-hour fire-resistive construction.  
707A 11. Utilities. Utilities, pipes, furnaces, water heaters or other mechanical devices located in an exposed under-floor area of a building or structure shall be enclosed with material as required for exterior, one-hour, fire-resistive construction. Adequate covered access opening for servicing such utilities shall be provided as required by appropriate codes

HARDIEPLANK HZ10 5/16 IN. X 8.25 IN. X 144 IN. FIBER CEMENT SELECT CEDARMILL LAP SIDING

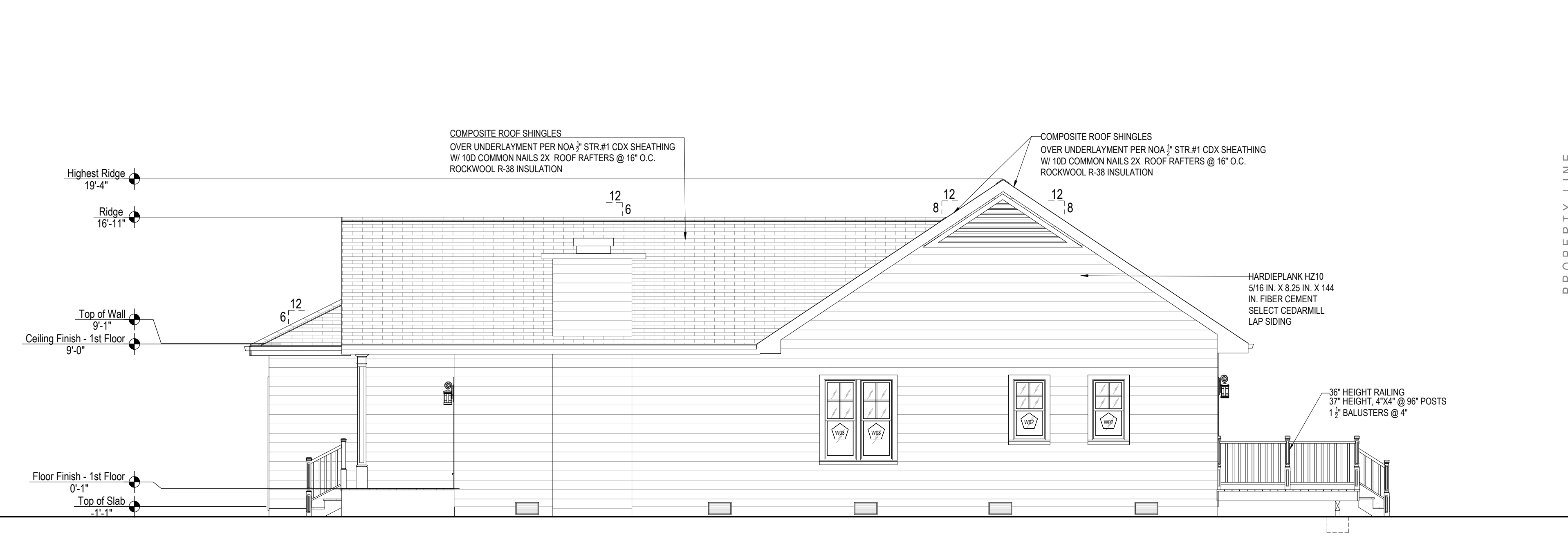
**FINISH NOTES:**

RENDERINGS ARE NOT TO SCALE; ALL RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

BASE BOARDS SHALL BE 6" IN ALL ROOMS. UNO.  
FINAL FINISHES SHALL BE CONFIRMED WITH THE HOME OWNER PRIOR TO APPLICATION.

**EXTERIOR FINISH NOTES:**

EXTERIOR FINISH TO BE FIBER CEMENT SIDING OVER 5/8 CDX PLYWOOD. WINDOW & DOOR TRIM CEDAR. MATERIAL AND COLOR BY OWNER.  
ROOFING TO BE COMPOSITE ROOF SHINGLES, COLOR BY OWNER  
ROOFING OVER 30# FELT, 5/8 CDX PLYWOOD.  
DECKING TO BE TREX OR WOOD. FINAL MATERIAL AND COLOR BY OWNER.  
CHIMNEYS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY.  
DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN.  
FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.  
BASALT RETAINING WALLS TO MATCH EXISTING RETAINING WALL.



**PROPOSED WEST ELEVATION**

Scale: 1/4" = 1' - 00"

2



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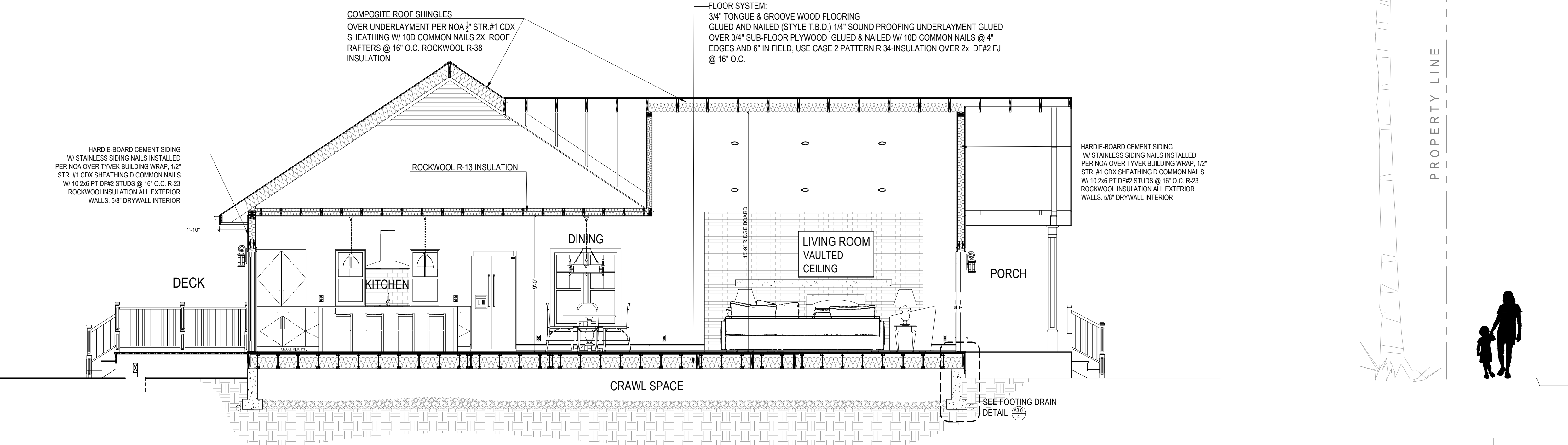
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DRAWING TITLE:

PROPOSED SOUTH & WEST ELEVATIONS

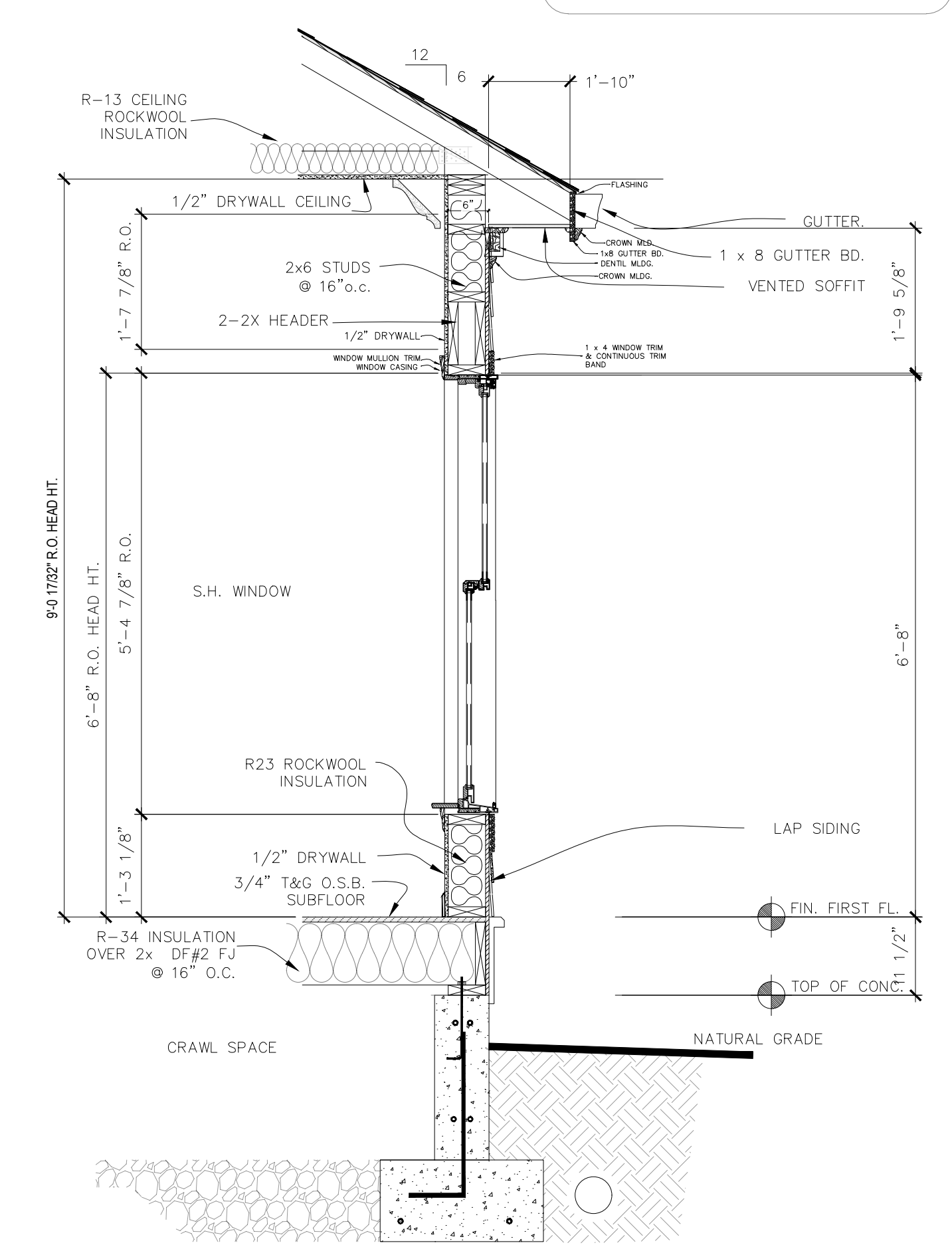
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PROPOSED LONGITUDINAL SECTION

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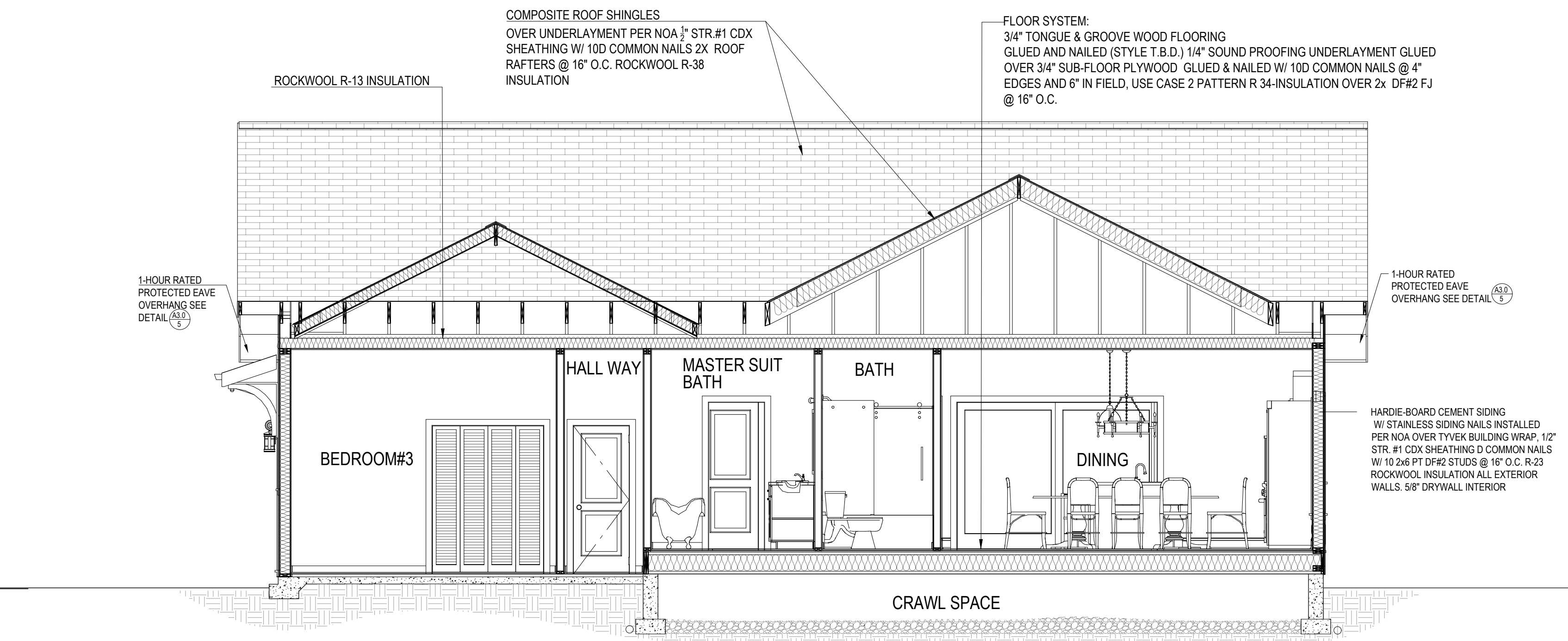


TYPICAL EXTERIOR WALL DETAILS

Scale: 1/4" = 1' - 00"

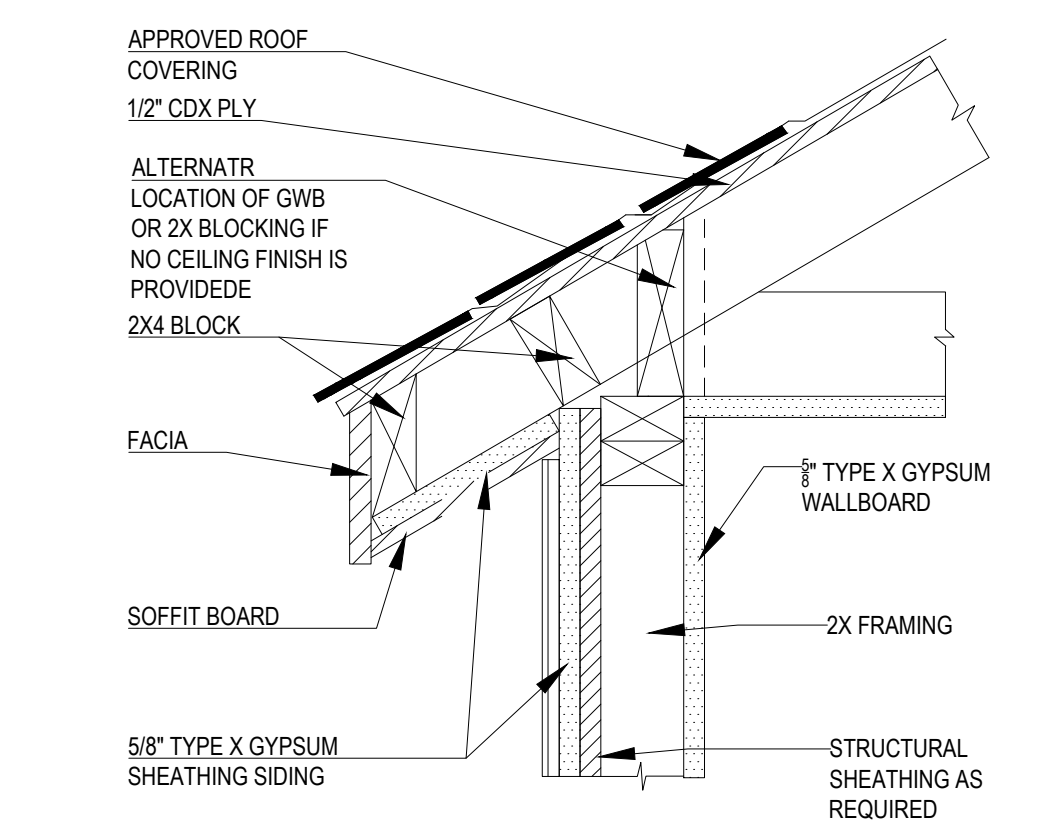
**FIRE-RESISTANCE RATED CONSTRUCTION:**

1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE, R302.11.
2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. R302.12.



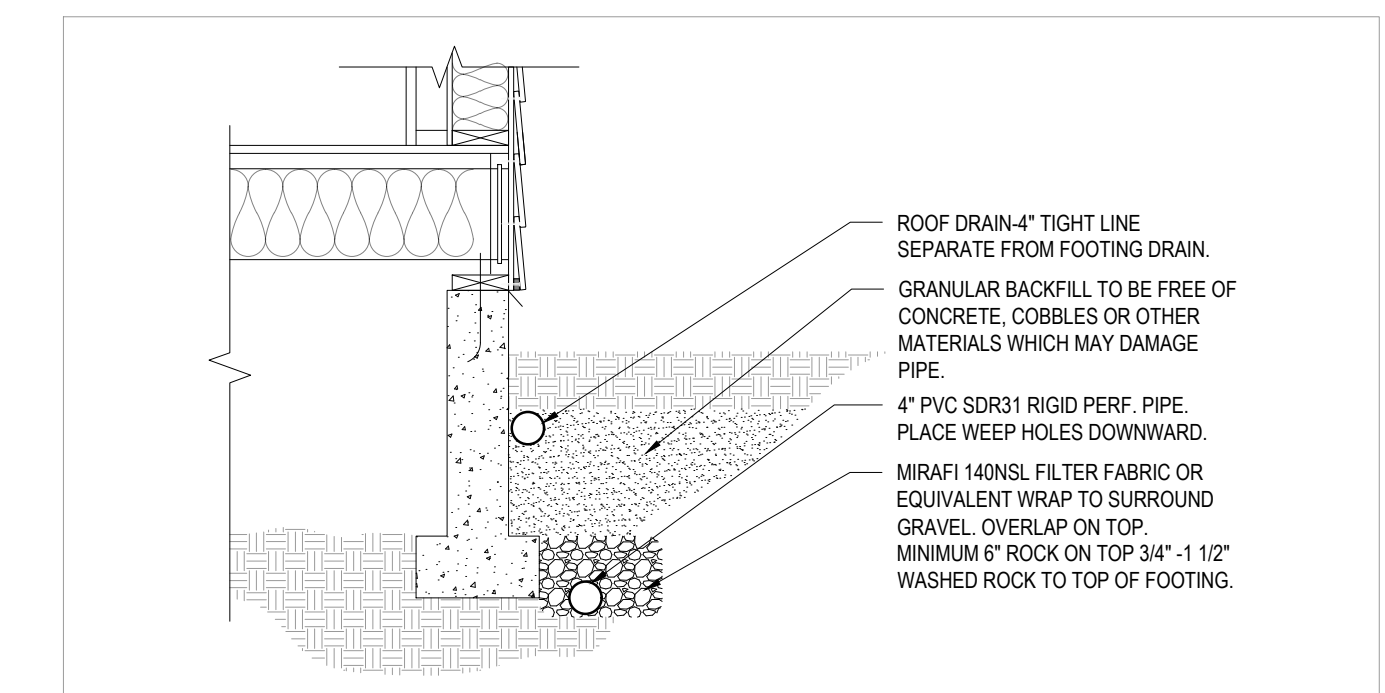
PROPOSED CROSS SECTION

Scale: 1/4" = 1' - 00"



1-HOUR RATED WALL & PROTECTED EAVE OVERHANG

Scale: 1/2" = 1' - 00"



NOTES:

1. FOOTING DRAIN MUST TIE INTO SITE STORM SYSTEM BY GRAVITY FLOW.
2. ROOF DRAIN SHALL RUN INDEPENDENT OF FOOTING DRAIN UNTIL POINT OF CONNECTION TO CITY STORM WATER FACILITY OR ON SITE DETENTION FACILITY.
3. FOOTING DRAIN MUST PROVIDE AT LEAST 6" OF CLEARANCE BETWEEN CRAWLSPACE FINISHED GRADE OR BOTTOM OF SLAB-ON-GRADE, AND TOP OF FOOTING DRAIN.

FOOTING DRAIN

Scale: 1/2" = 1' - 00"



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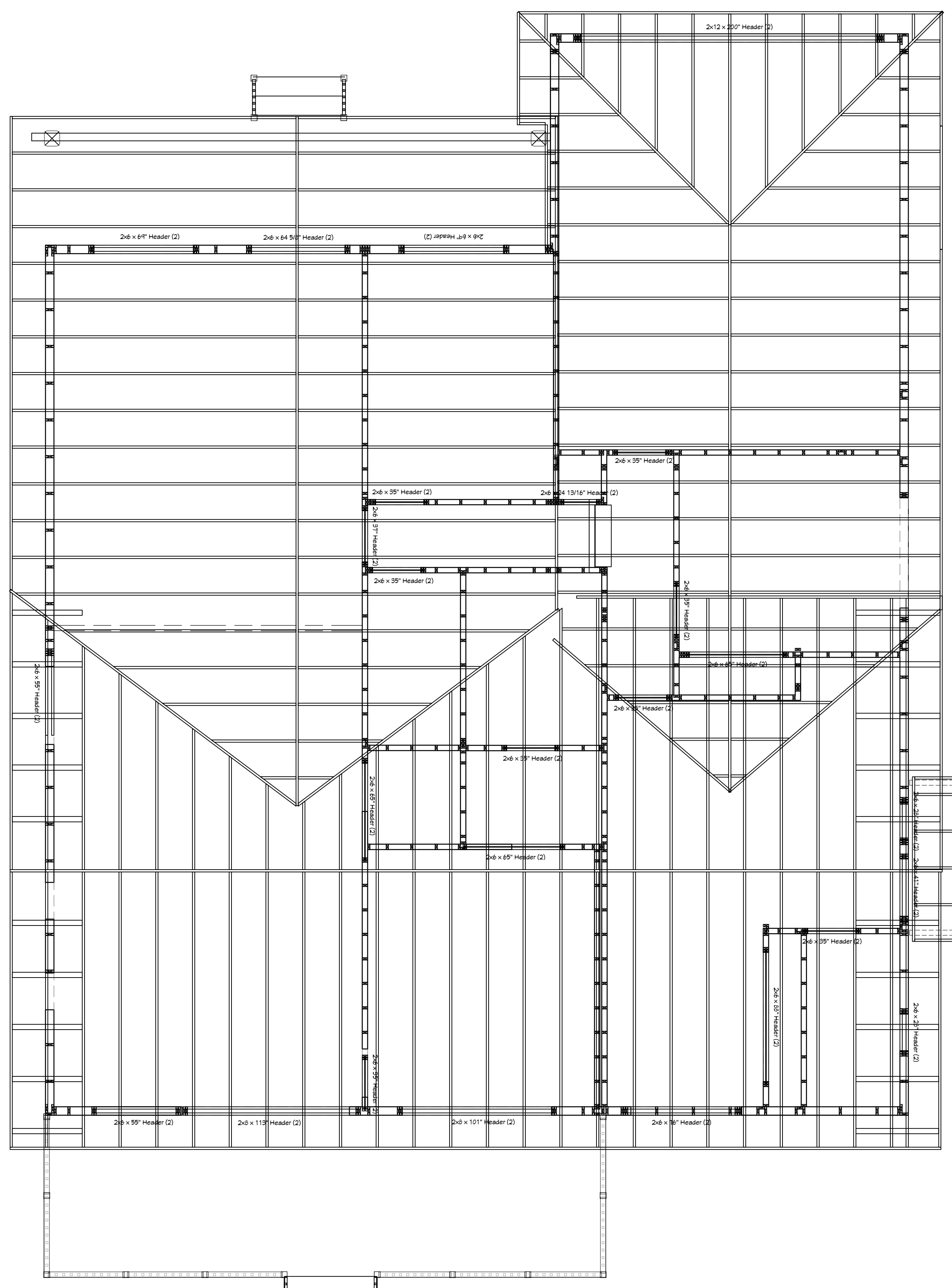
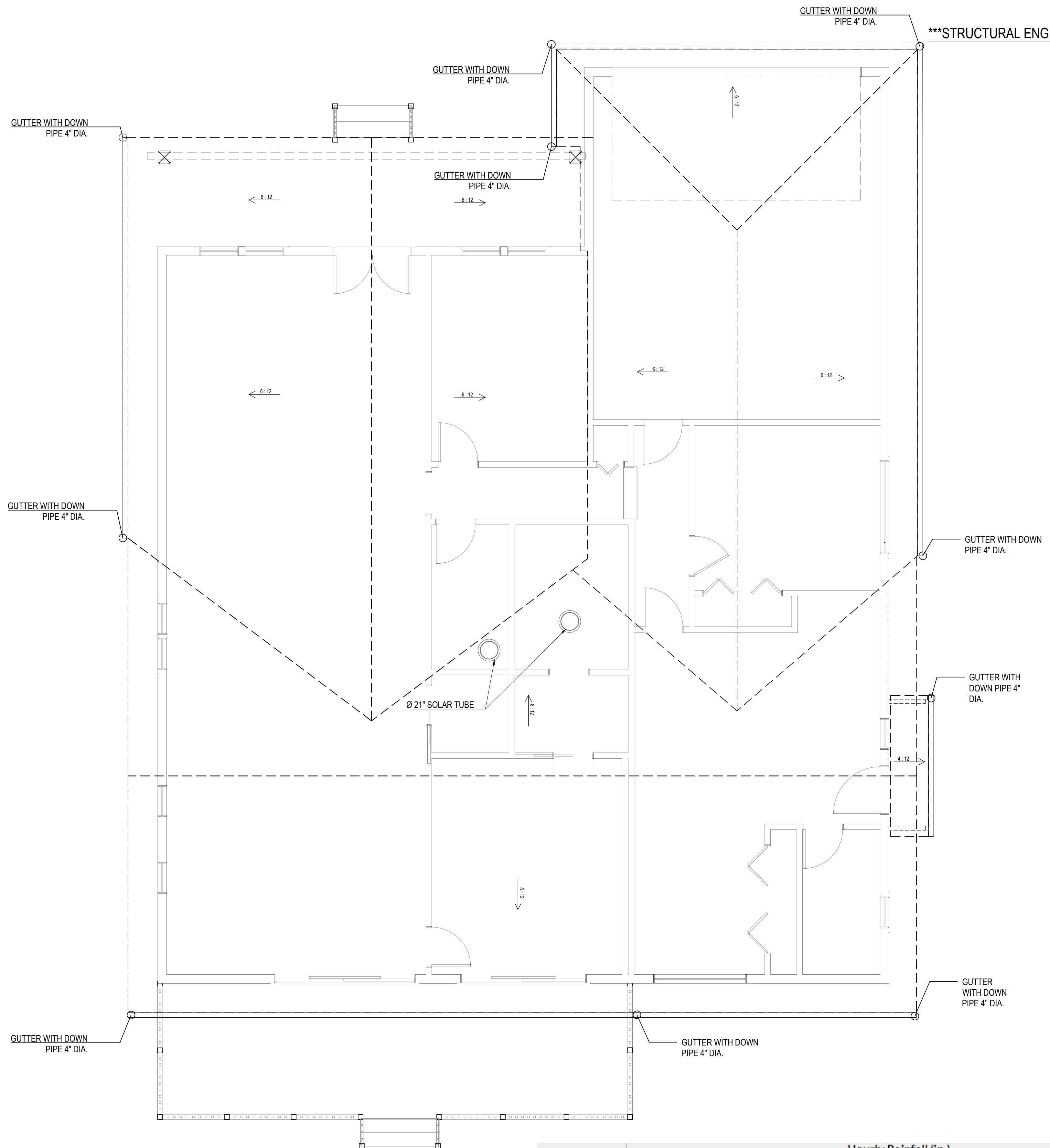
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**PROPOSED SECTIONS**

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**A-14**

\*\*\*STRUCTURAL ENGINEERING DRAWINGS SUPERSEDE ARCHITECTURAL RELATED

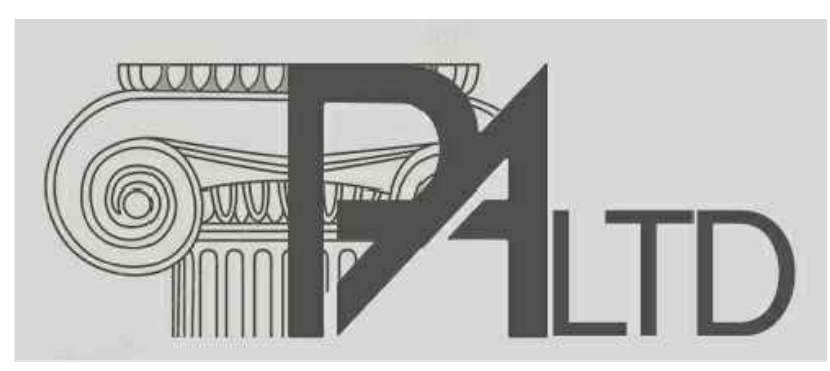


TOTAL ROOF AREA(MAIN ROOF)= 2997.5 SQ.FT RAINFALL RATE = 2.5  
 PIPE SIZE REQUIRED : 2"  
 SQ. FT. COVERED PER DRAIN= 1150.  
 THREE DRAIN IS REQUIRED FOR MAIN ROOF  
 TOTAL ROOF AREA(MAIN ROOF)= 2997.5 SQ.FT THREE DRAIN IS ENOUGH FOR PROPOSED ROOF.

\*\*\*\*FOR IMPROVEMENT OF DRAINAGE, THE SIZE OF PIPE UPGRADED TO 4" AND THE NUMBER OF DRAIN PIPE DETERMINED REGARDING THE SHAPE OF THE ROOF.

Leader / Pipe Size (in.)	Hourly Rainfall (in.)									
	1	1.5	2	2.5	3	4	5	6	7	8
2	2,880	1,920	1,440	1,150	960	720	575	480	410	360
3	8,800	5,860	4,400	3,520	2,930	2,200	1,760	1,470	1,260	1,100
4	18,400	12,700	9,200	7,360	6,130	4,600	3,680	3,070	2,630	2,300
5	34,600	23,050	17,300	13,840	11,530	8,650	6,920	5,765	4,945	4,325
6	54,000	36,000	27,000	21,600	18,000	13,500	10,800	9,000	7,715	6,750
8	116,000	77,400	58,000	46,400	38,660	29,000	23,200	19,315	16,570	14,500

PROPOSED ROOF PLAN  
 Scale: 1/4" = 1' - 00"



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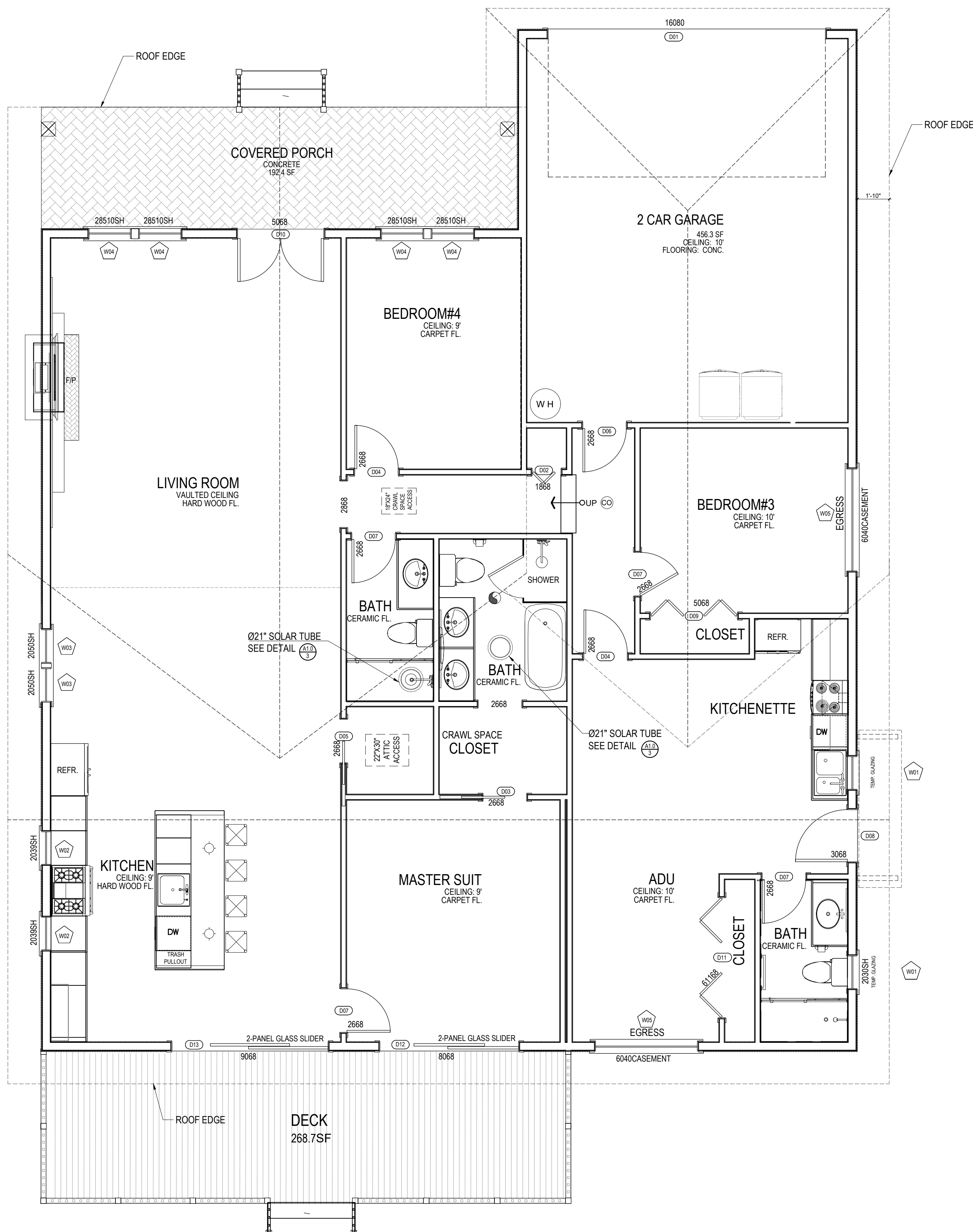


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 PROPOSED ROOF PLAN

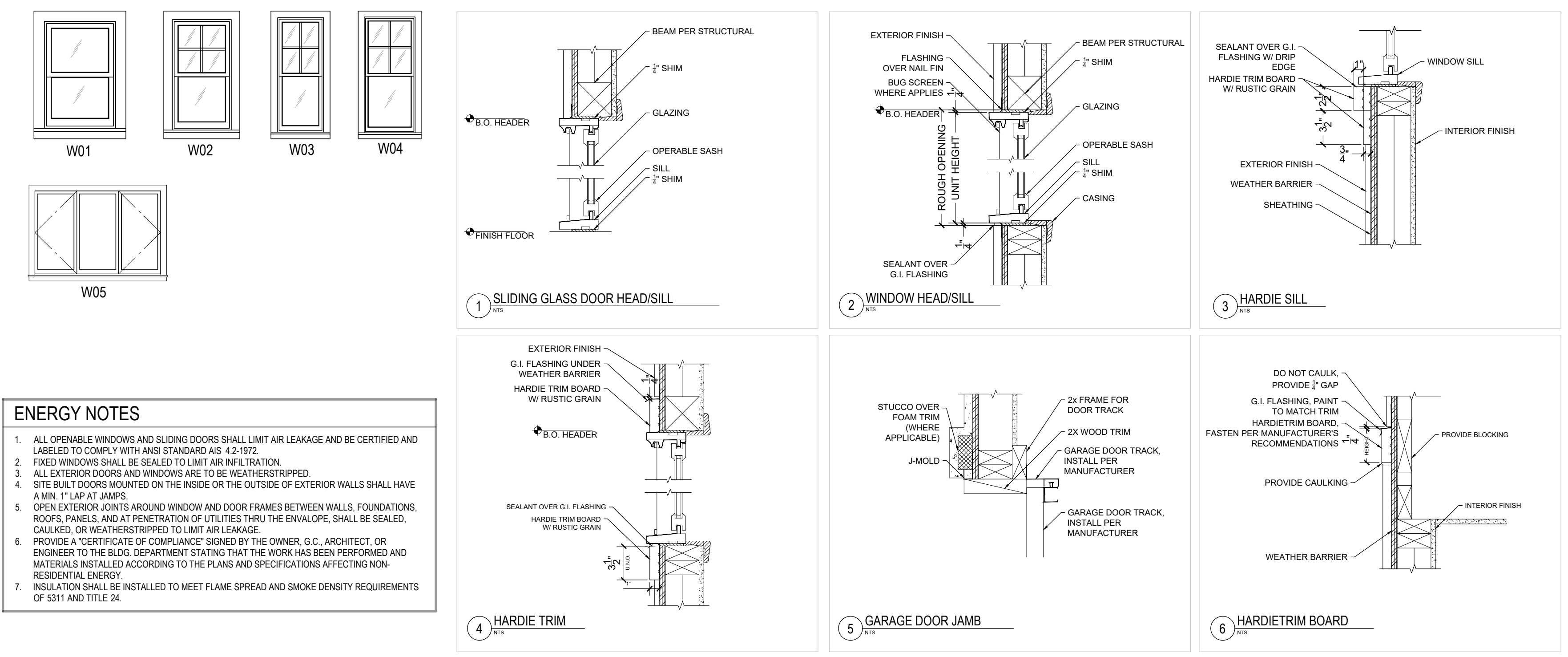
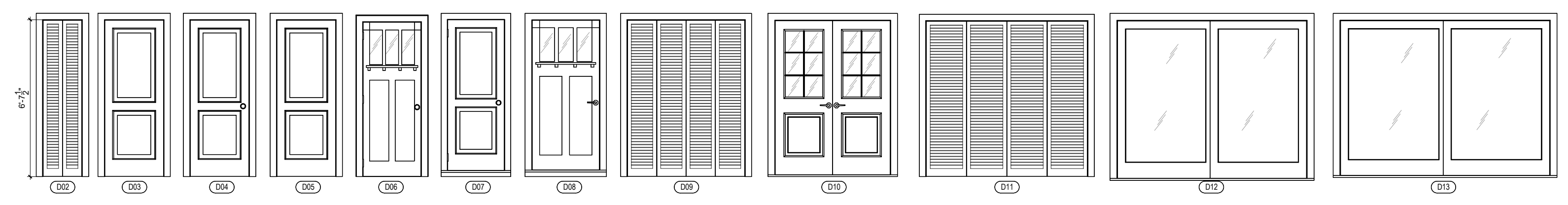
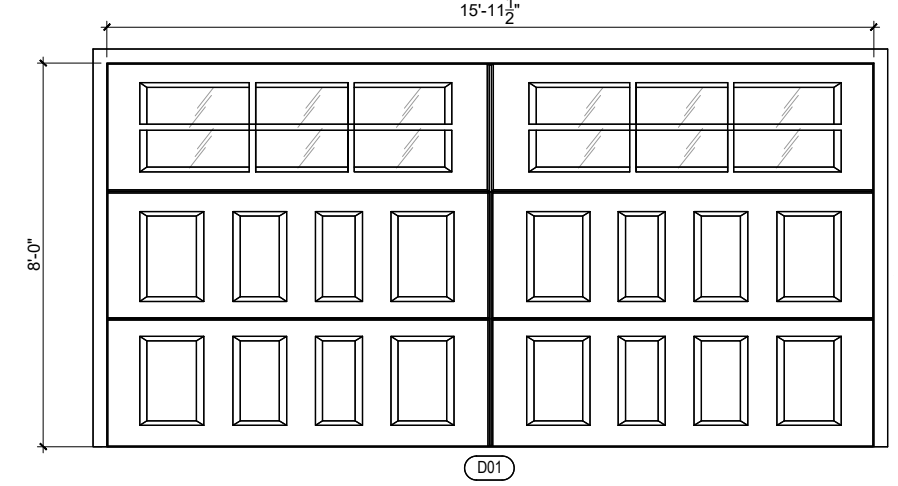
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DOOR SCHEDULE													
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	SHGC	U-FACTOR	THICKNESS	FIRE
D01	16080	1	16080	192"	96"	194"X99"	GARAGE-GARAGE DOOR CHD05	2X12X200" (2)	1 3/4"	0.3	0.3	1 3/4"	
D02	1868	1	1868 R	19 13/16"	80"	21 13/16"X82 1/2"	2 DR. BIFOLD-LOUVERED	2X6X24 13/16" (2)	1 3/8"	0.3	0.3	1 3/8"	
D03	2668	1	2668 L	30"	80"	62"X82 1/2"	POCKET-DOOR P04	2X6X65" (2)	1 3/8"	0.3	0.3	1 3/8"	
D04	2668	2	2668 L IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	1 3/8"	0.3	0.3	1 3/8"	
D05	2668	1	2668 R	30"	80"	62"X82 1/2"	POCKET-DOOR P04	2X6X65" (2)	1 3/8"	0.3	0.3	1 3/8"	
D06	2668	1	2668 R EX	30"	80"	32"X83"	EXT. HINGED-DOOR E21	2X6X35" (2)	1 3/8"	0.3	0.3	1 3/8"	
D07	2668	4	2668 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	1 3/8"	0.3	0.3	1 3/8"	
D08	3068	1	3068 L EX	36"	80"	38"X83"	EXT. HINGED-DOOR E21	2X6X41" (2)	1 3/4"	0.3	0.3	1 3/4"	
D09	5068	1	5068 L/R	60"	80"	62"X82 1/2"	4 DR. BIFOLD-LOUVERED	2X6X65" (2)	1 3/8"	0.3	0.3	1 3/8"	
D10	5068	1	5068 L/R EX	59 5/8"	80"	61 5/8"X83"	EXT. DOUBLE HINGED-DOOR E02	2X6X64 5/8" (2)	1 3/4"	0.3	0.3	1 3/4"	
D11	61168	1	61168 L/R	83"	80"	85"X82 1/2"	4 DR. BIFOLD-LOUVERED	2X6X88" (2)	1 3/8"	0.3	0.3	1 3/8"	
D12	8068	1	8068 R EX	96"	80"	98"X83"	EXT. SLIDER-GLASS PANEL	2X8X101" (2)	1 3/4"	0.3	0.3	1 3/4"	
D13	9068	1	9068 R EX	108"	80"	110"X83"	EXT. SLIDER-GLASS PANEL	2X8X113" (2)	1 3/4"	0.3	0.3	1 3/4"	

WINDOW SCHEDULE													
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	SHGC	TEMPERED	U-FACTOR	
W01	2030SH	2	2030SH	24"	36"	25"X37"		SINGLE HUNG	2X6X28" (2)	0.3		0.3	
W02	2038SH	2	2038SH	24"	44"	25"X45"		SINGLE HUNG	2X6X28" (2)	0.3		0.3	
W03	2050SH	2	2050SH	24"	60"	25"X61"		SINGLE HUNG	2X6X28" (2)	0.3		0.3	
W04	28510SH	4	28510SH	32"	70"	33"X71"		SINGLE HUNG	2X6X36" (2)	0.3		0.3	
W05	6040SH	2	6040	72"	48"	73"X49"		Vinyl casement with screen wire	2X6X76" (2)	0.3		0.3	



- ENERGY NOTES**
- ALL OPENABLE WINDOWS AND SLIDING DOORS SHALL LIMIT AIR LEAKAGE AND BE CERTIFIED AND LABELED TO COMPLY WITH ANSI STANDARD AIS 4-2-1972
  - FIXED WINDOWS SHALL BE SEALED TO LIMIT AIR INFILTRATION
  - ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED.
  - SITE BUILT DOORS MOUNTED ON THE INSIDE OR THE OUTSIDE OF EXTERIOR WALLS SHALL HAVE A MIN. 1" LAP AT JAMPS.
  - OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES BETWEEN WALLS, FOUNDATIONS, ROOFS, PANELS, AND AT PENETRATION OF UTILITIES THRU THE ENVELOPE, SHALL BE SEALED, CAULKED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.
  - PROVIDE A "CERTIFICATE OF COMPLIANCE" SIGNED BY THE OWNER, G.C., ARCHITECT, OR ENGINEER TO THE BLDG. DEPARTMENT STATING THAT THE WORK HAS BEEN PERFORMED AND MATERIALS INSTALLED ACCORDING TO THE PLANS AND SPECIFICATIONS AFFECTING NON-RESIDENTIAL ENERGY.
  - INSULATION SHALL BE INSTALLED TO MEET FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS OF 5311 AND TITLE 24



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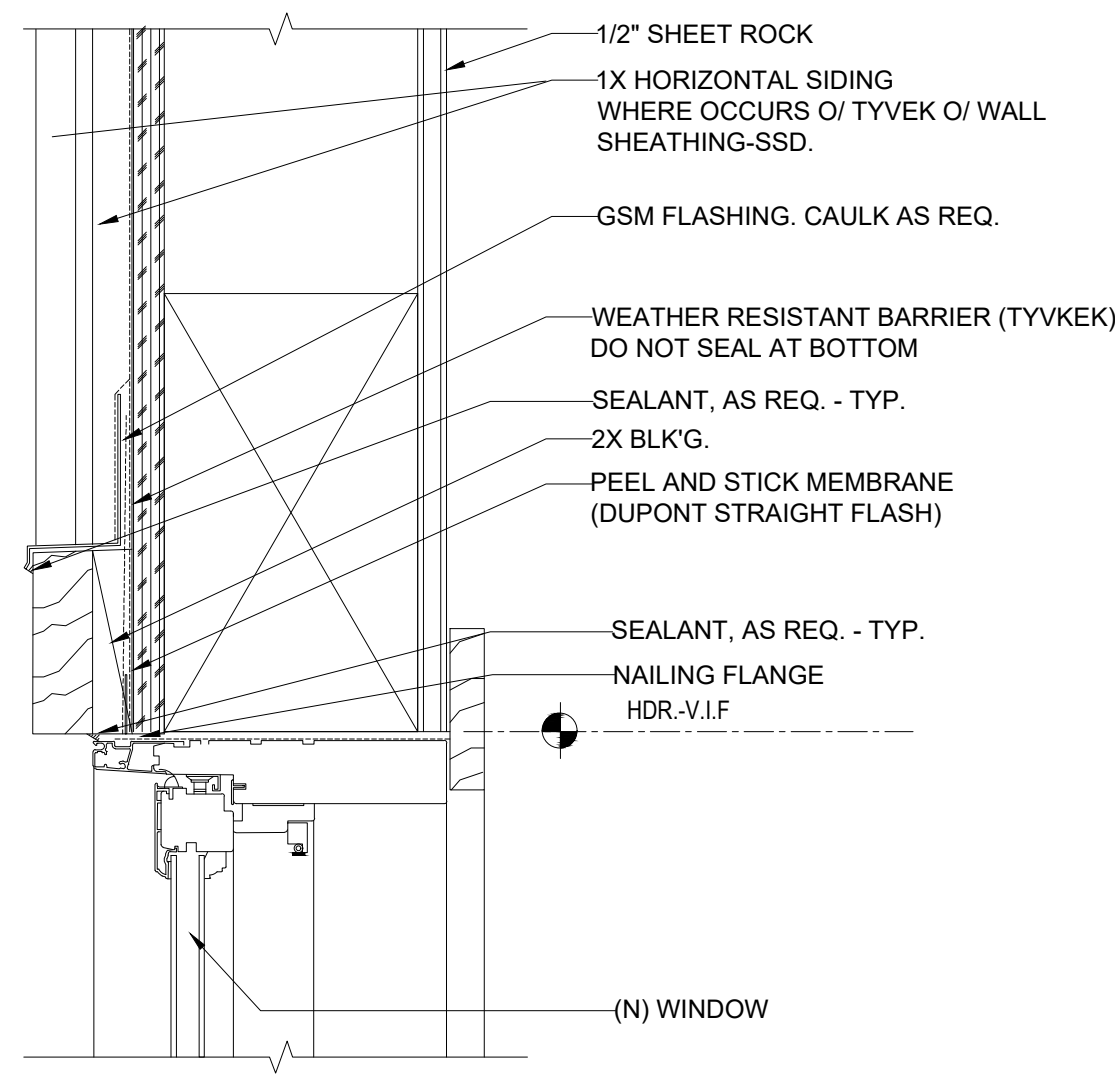
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**DOOR & WINDOW SCHEDULE**

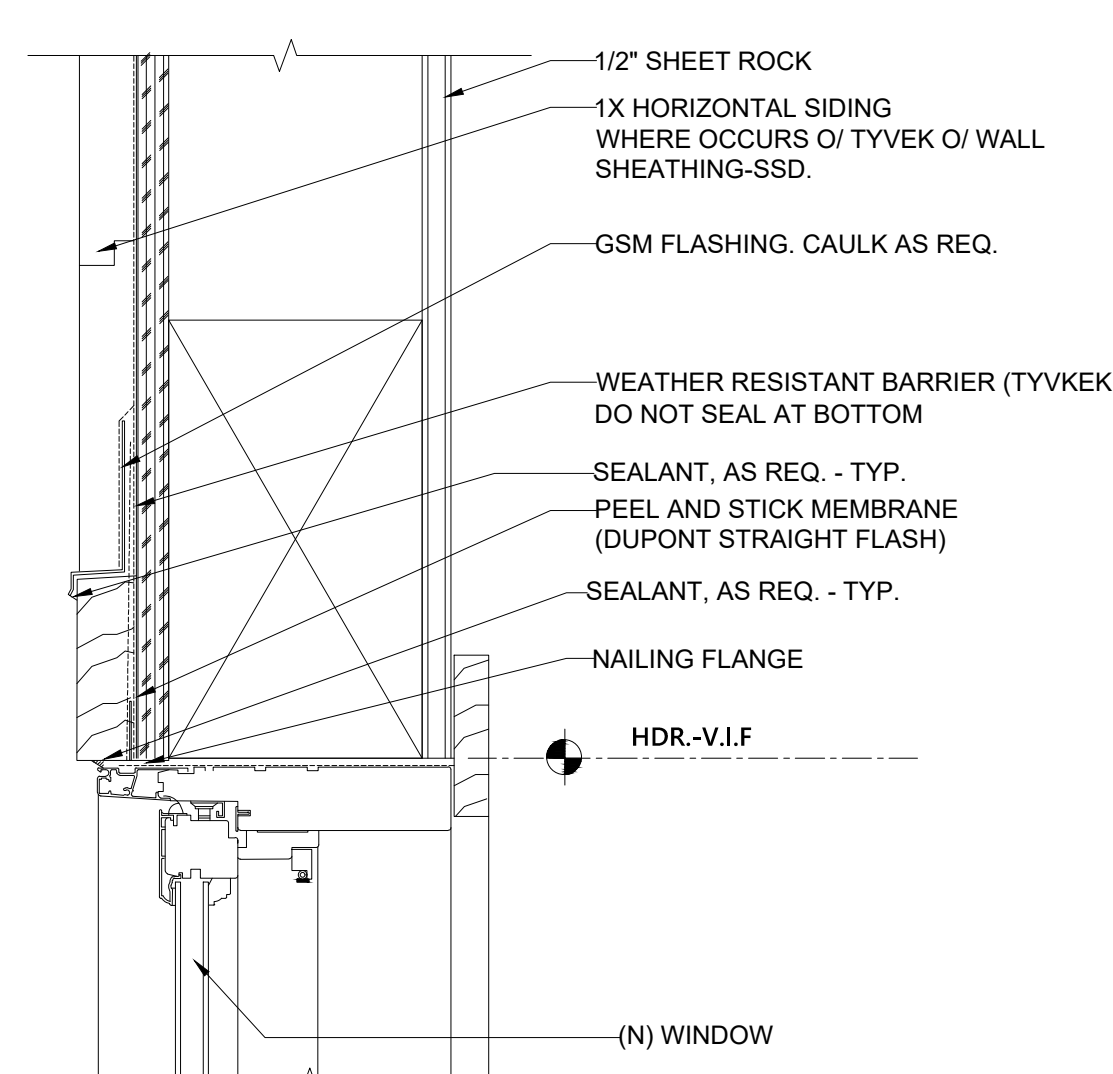
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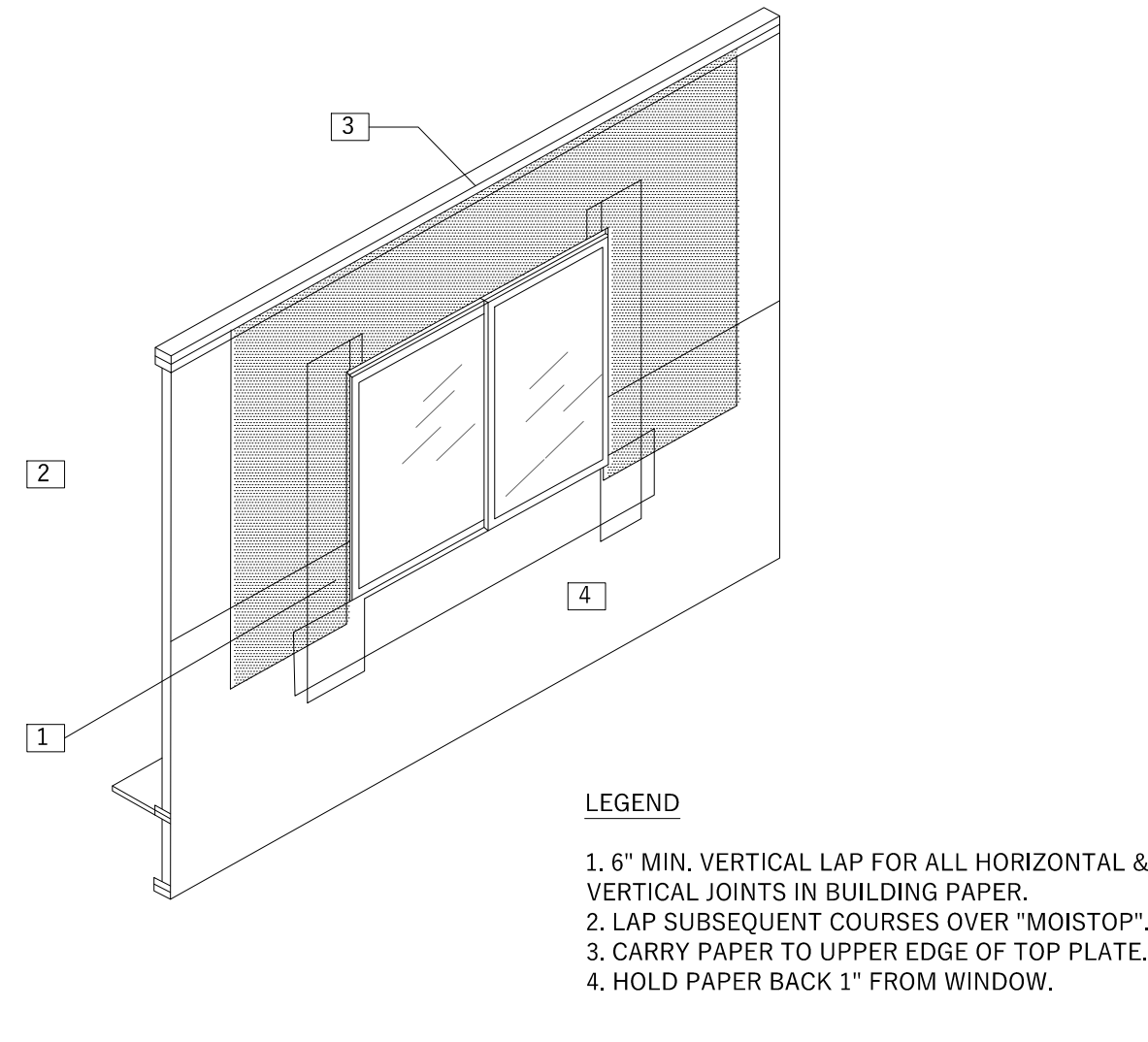
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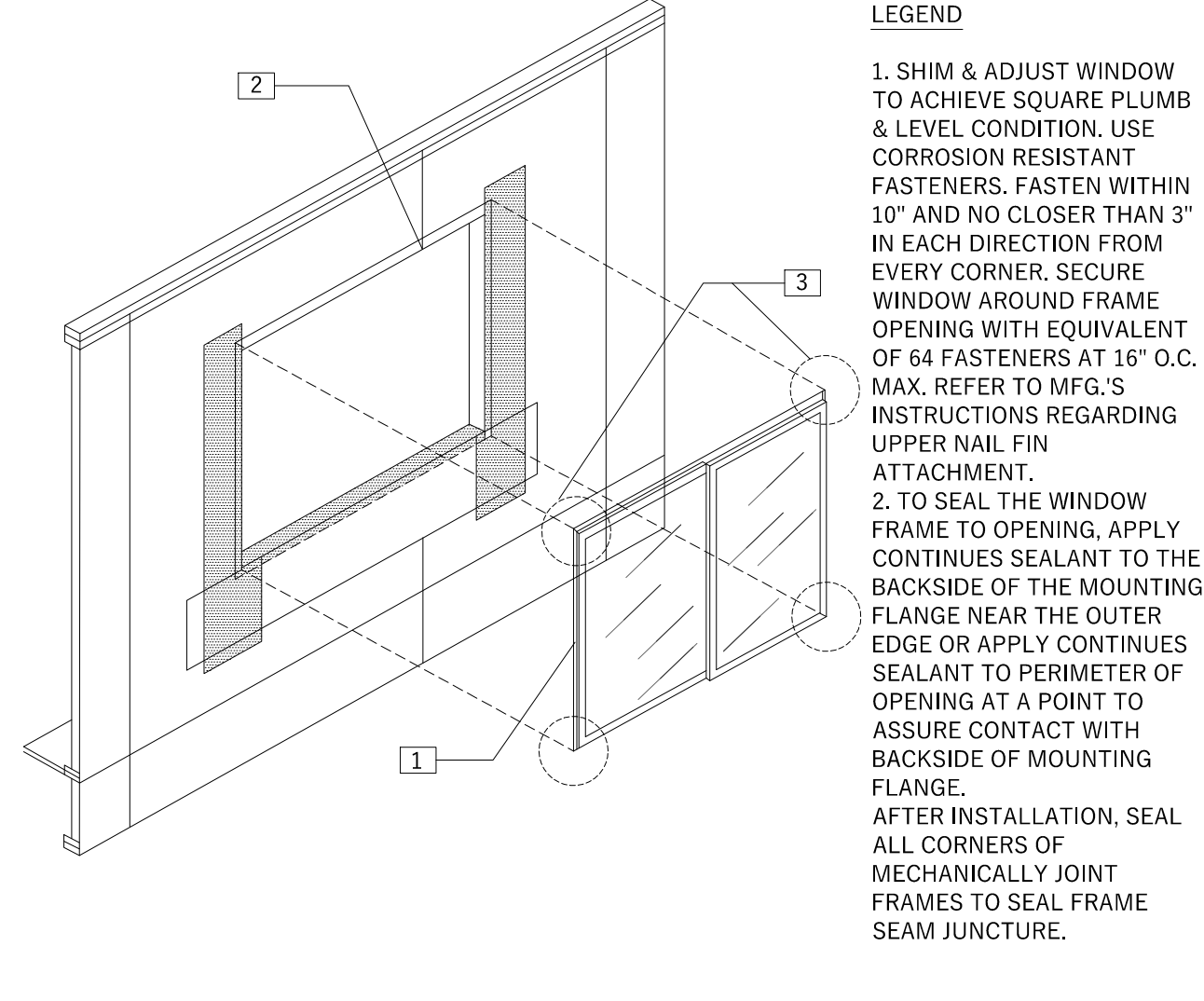
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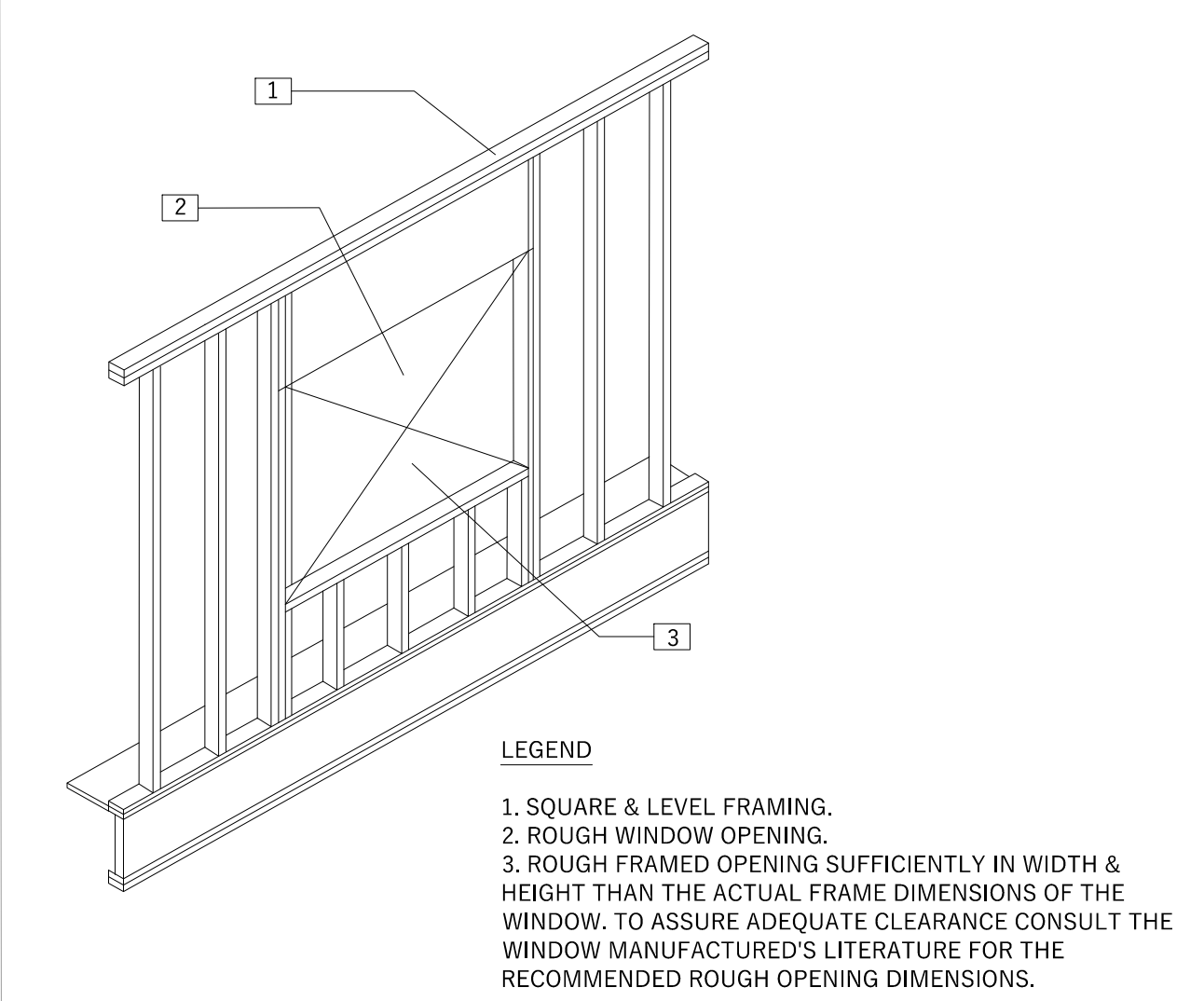
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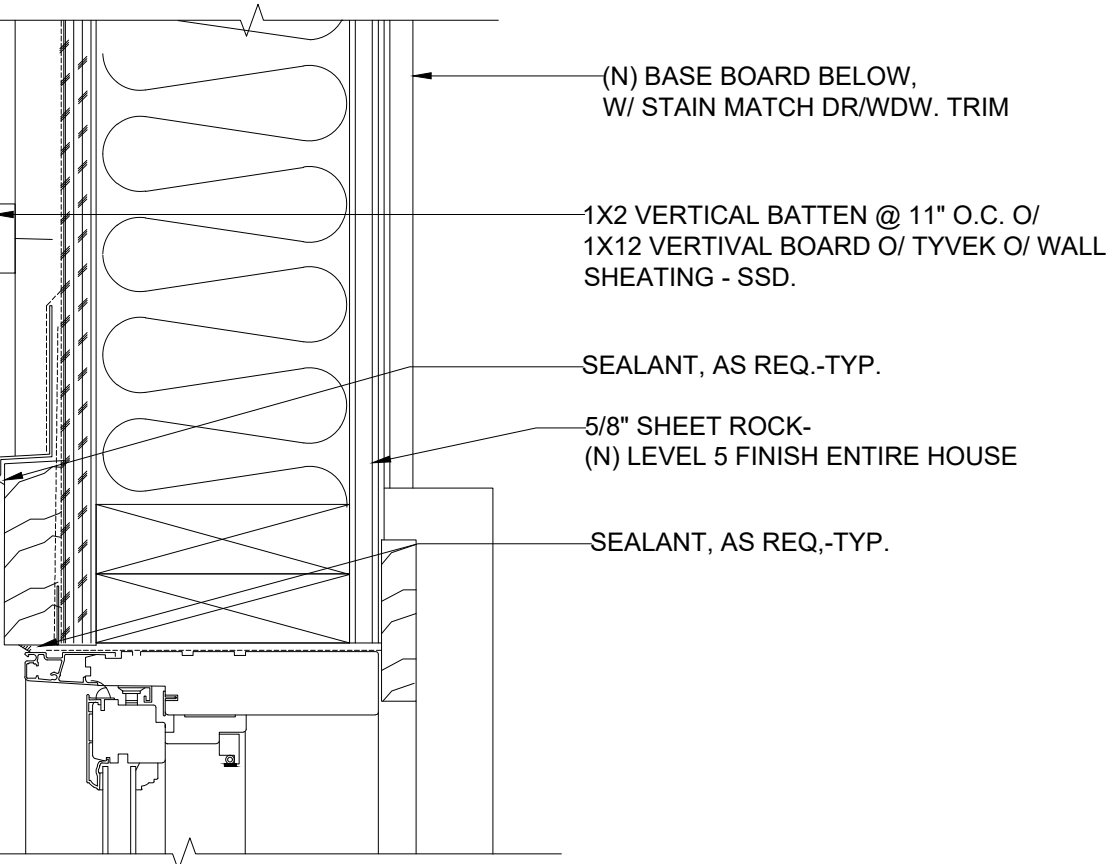
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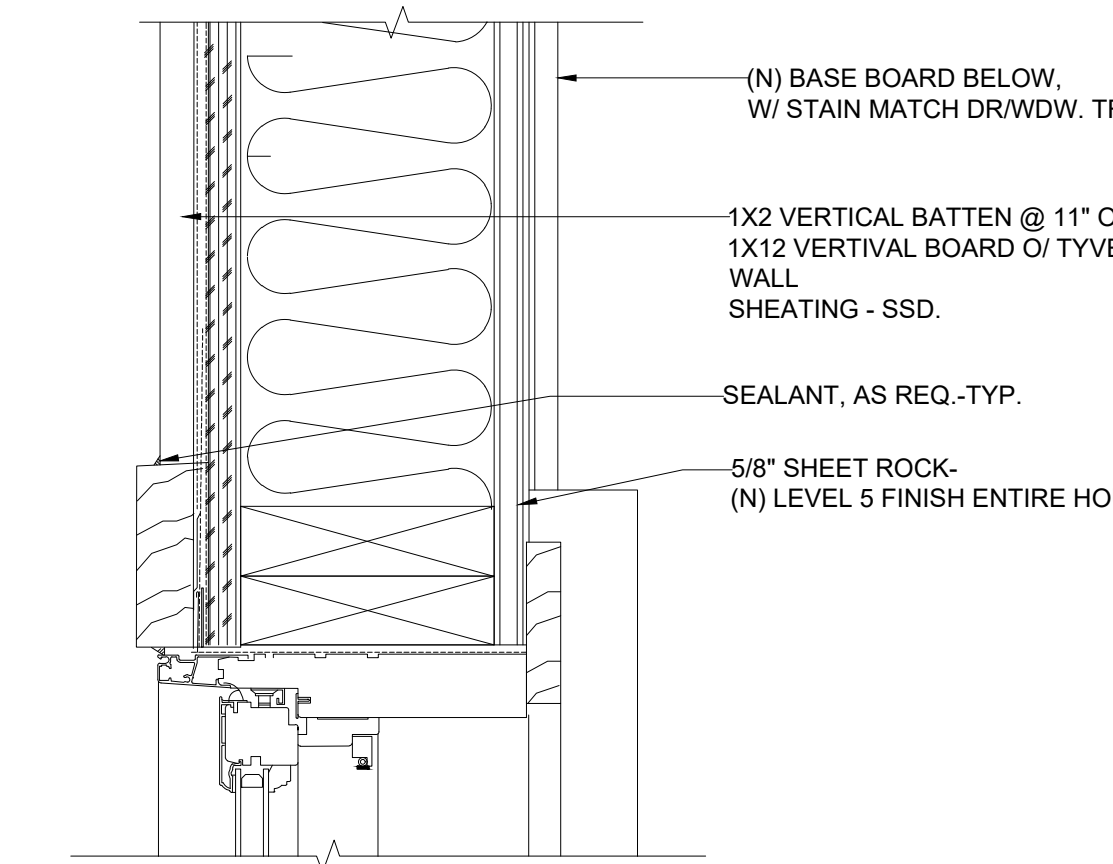
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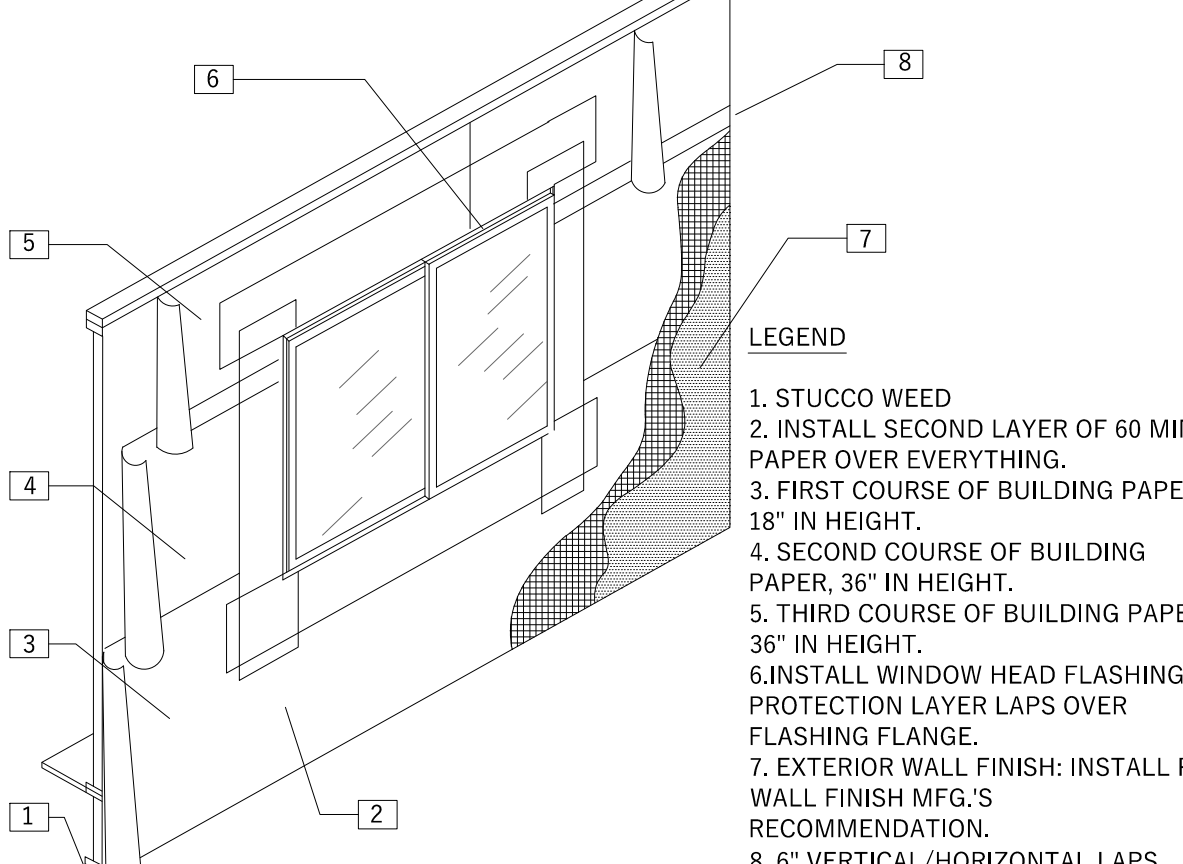
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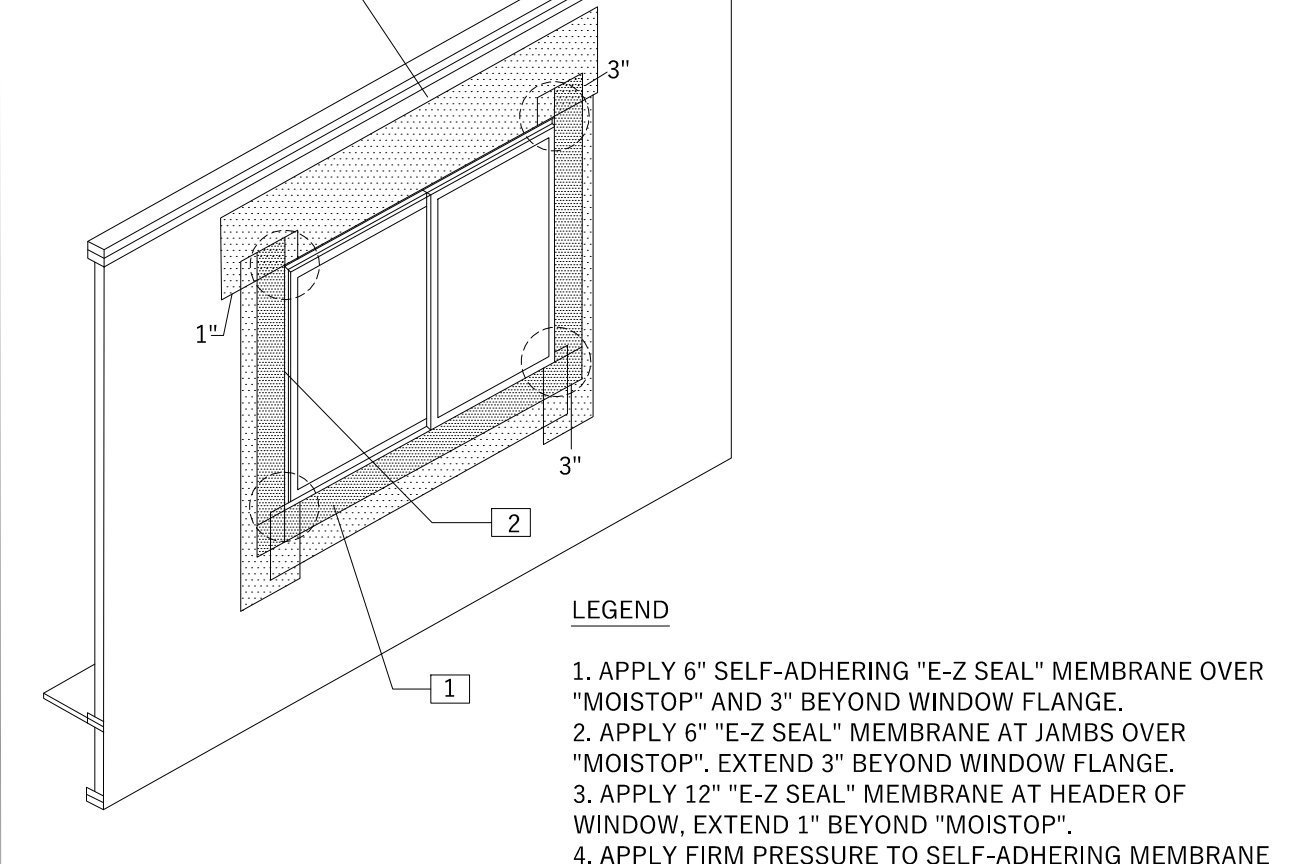
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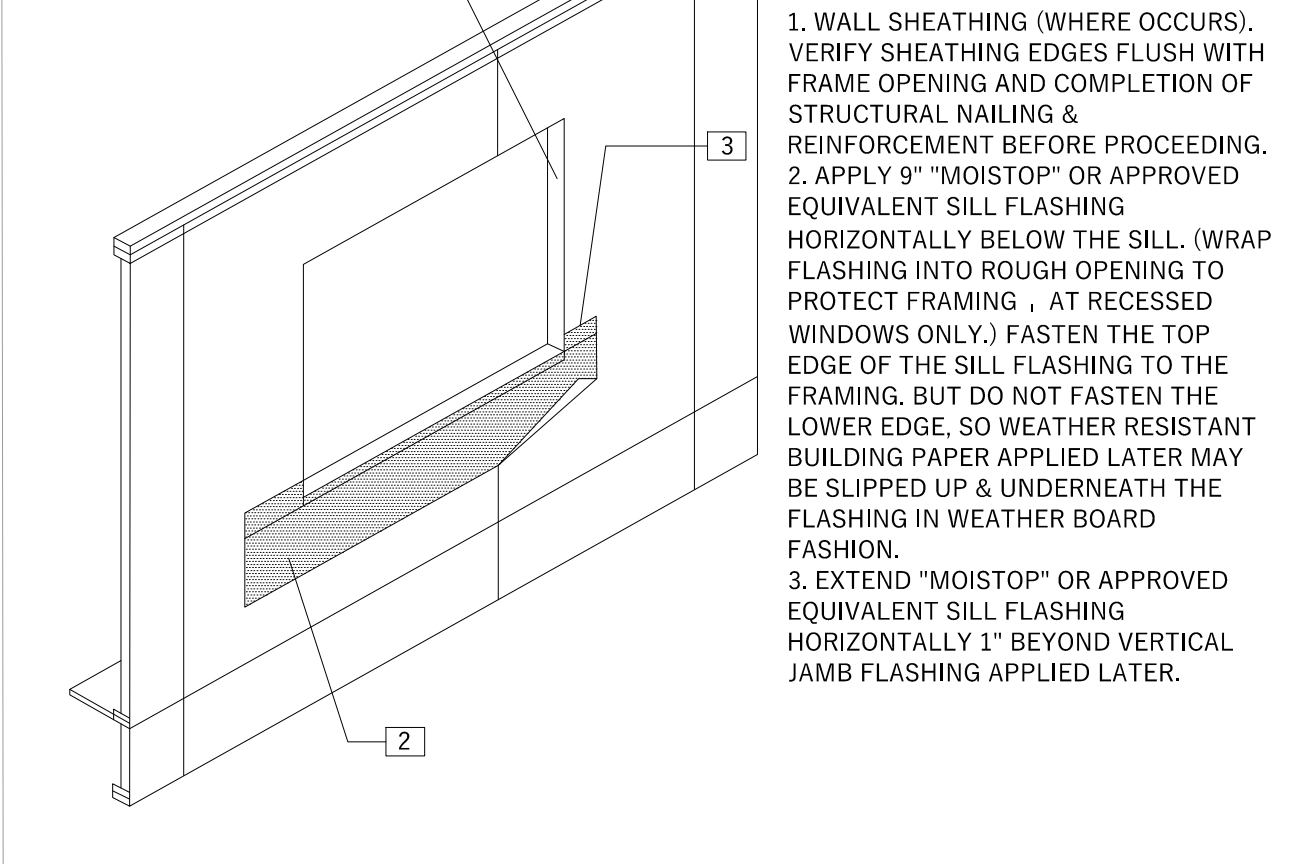
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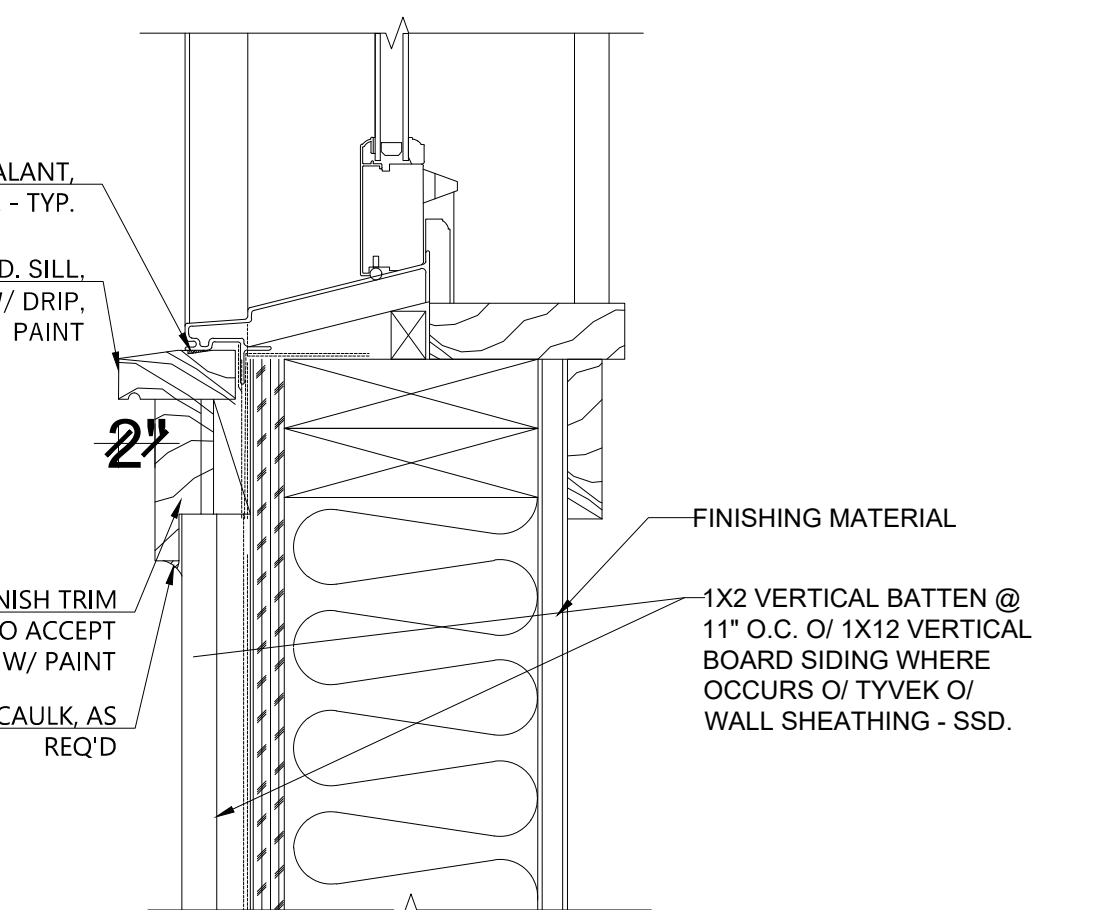
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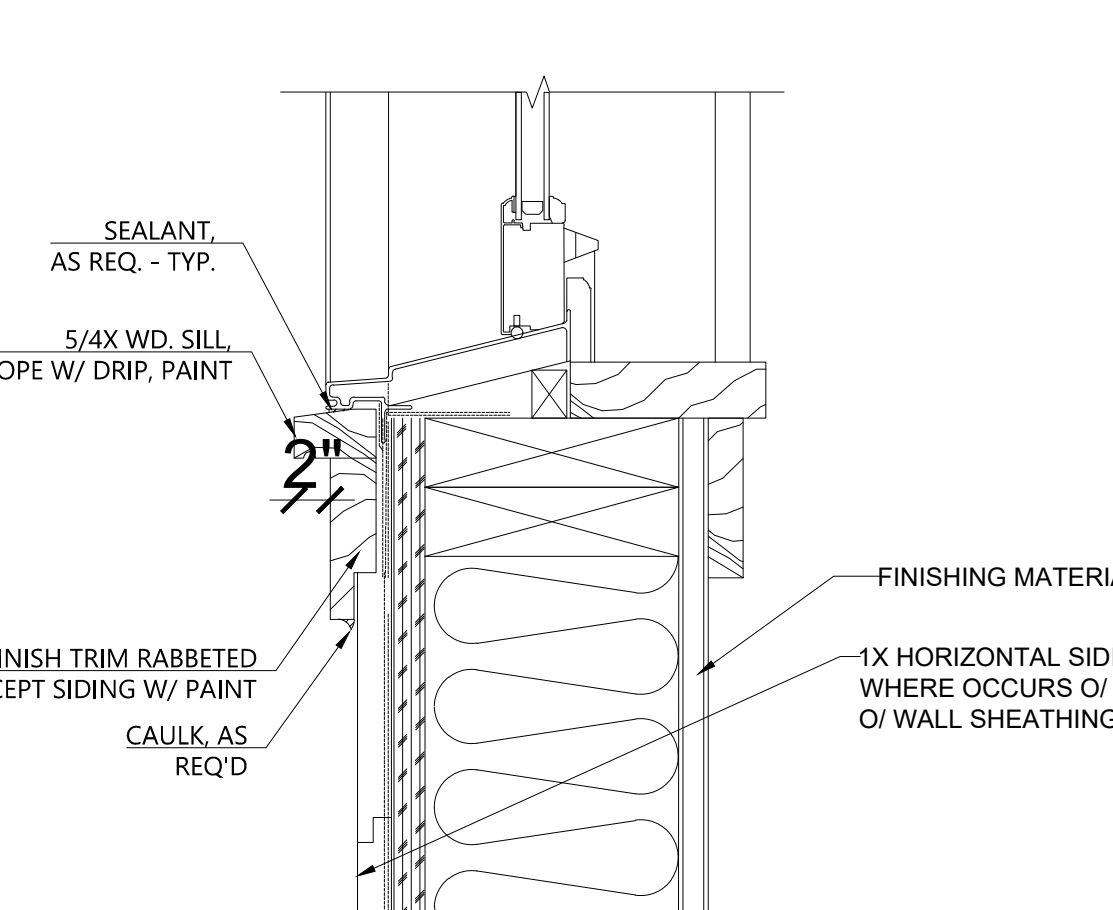
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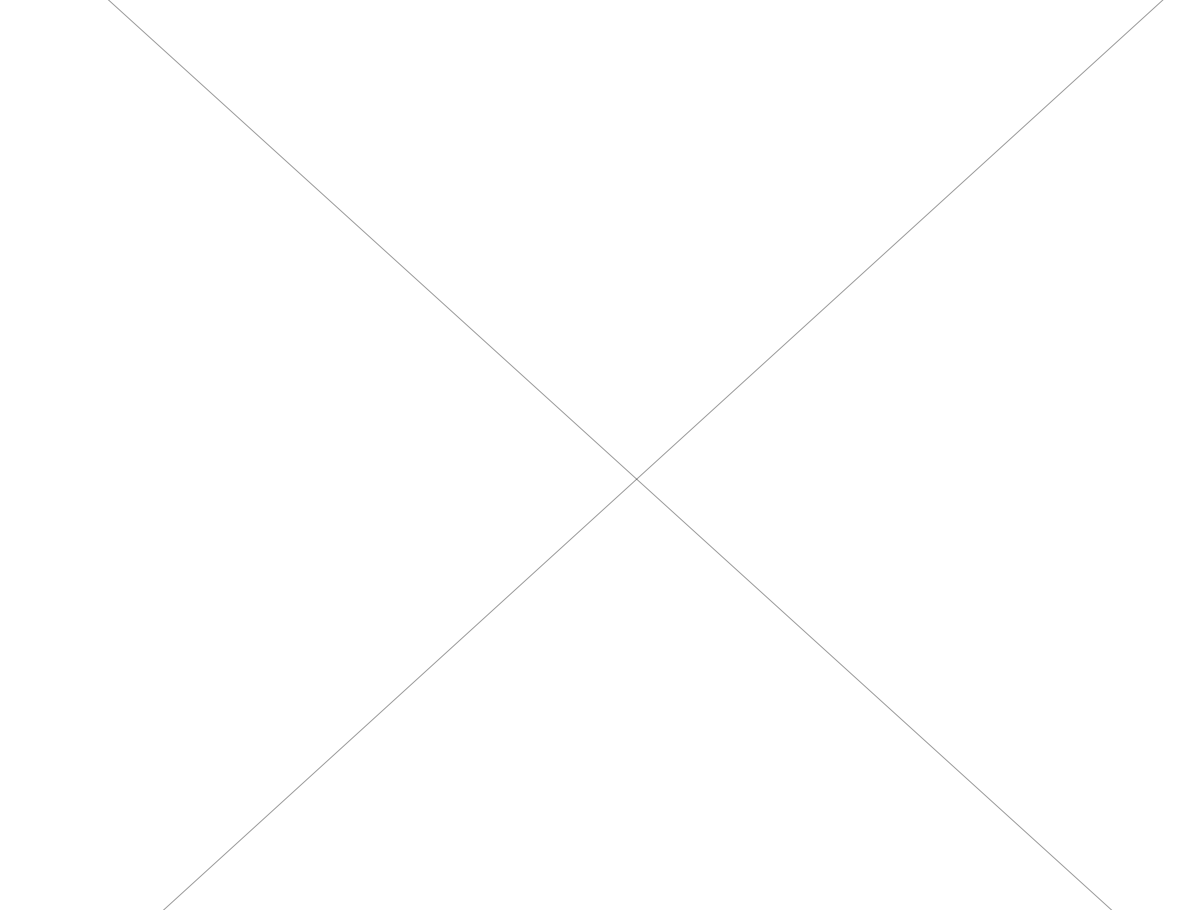
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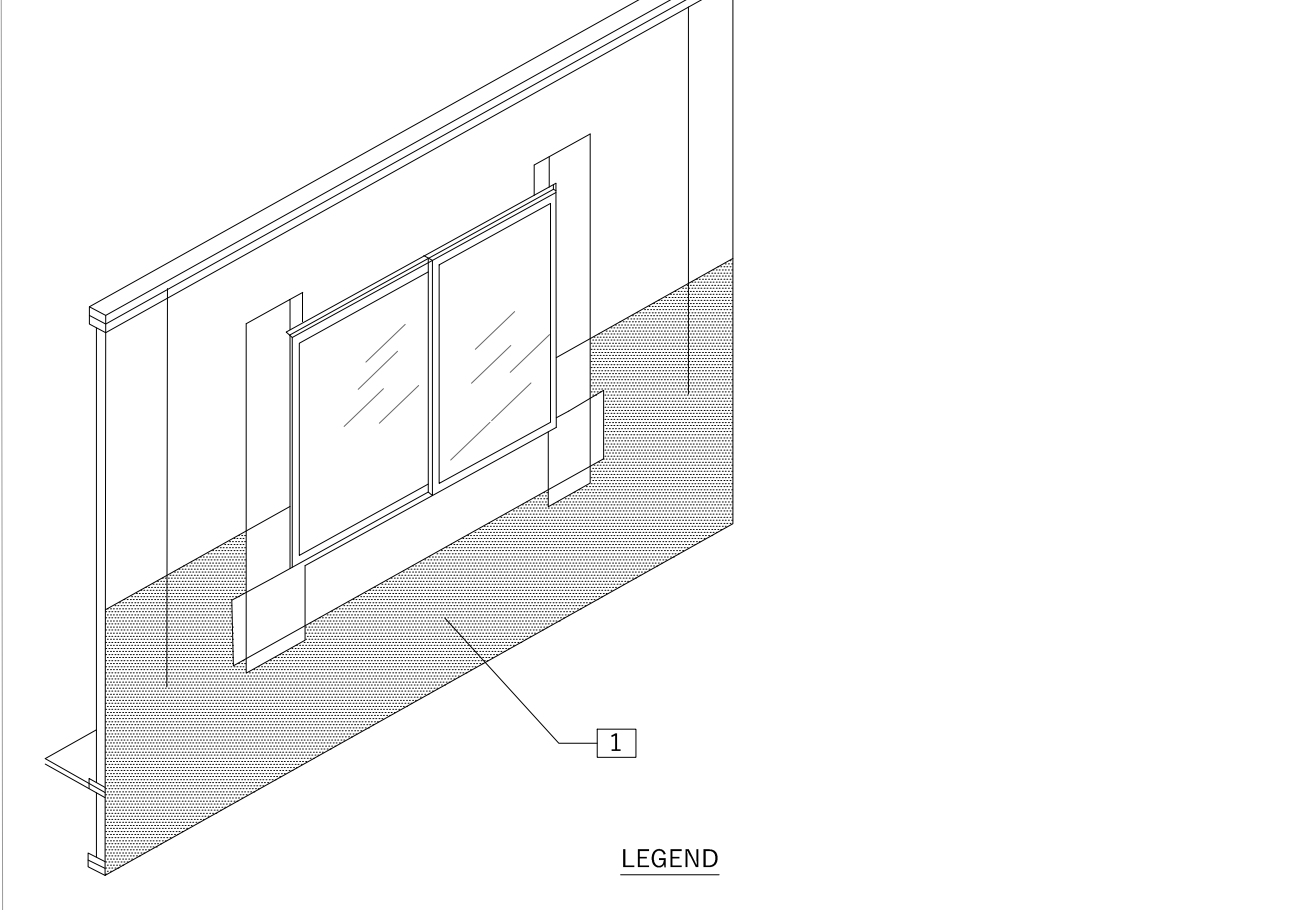
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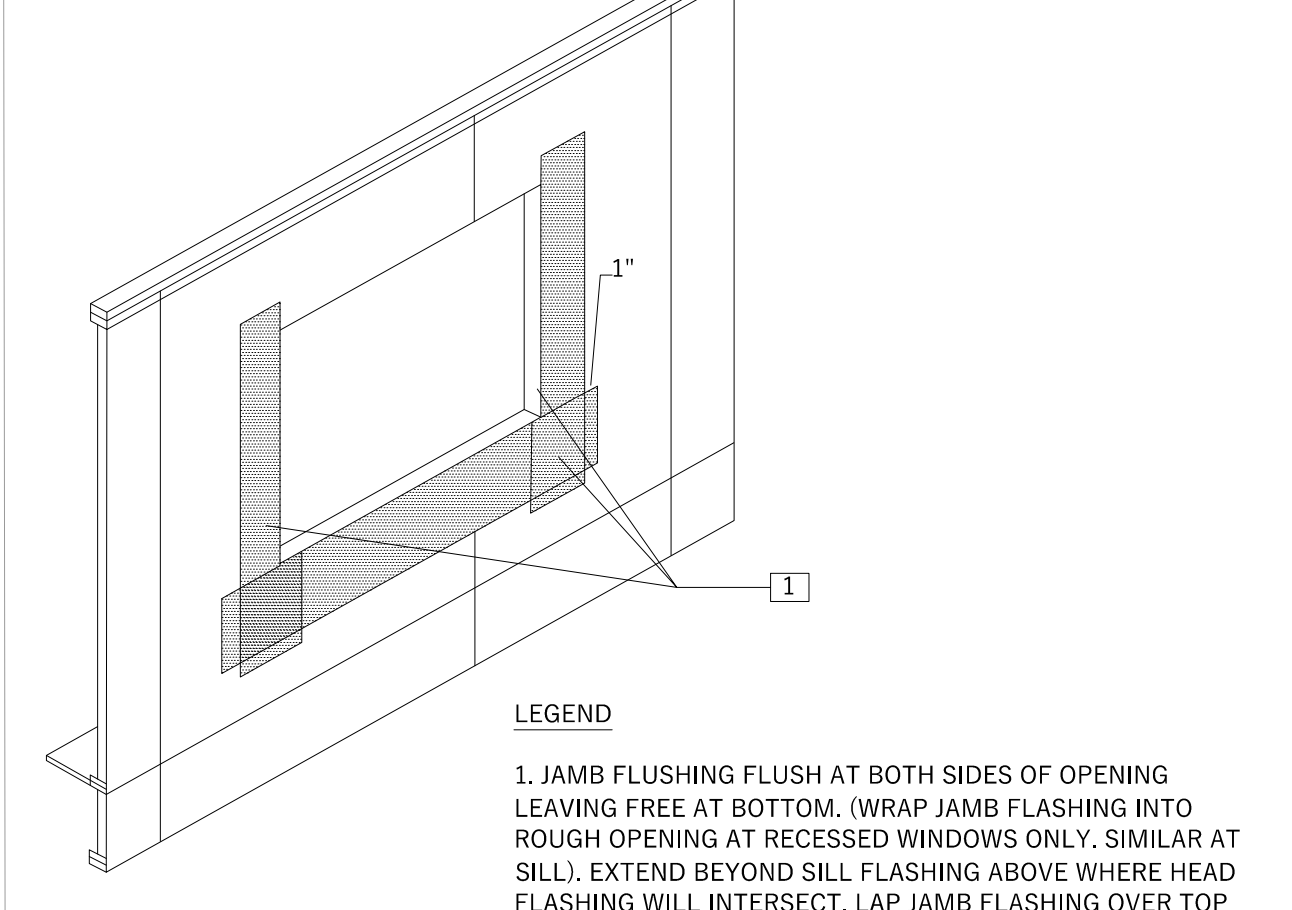
11



6



3



3



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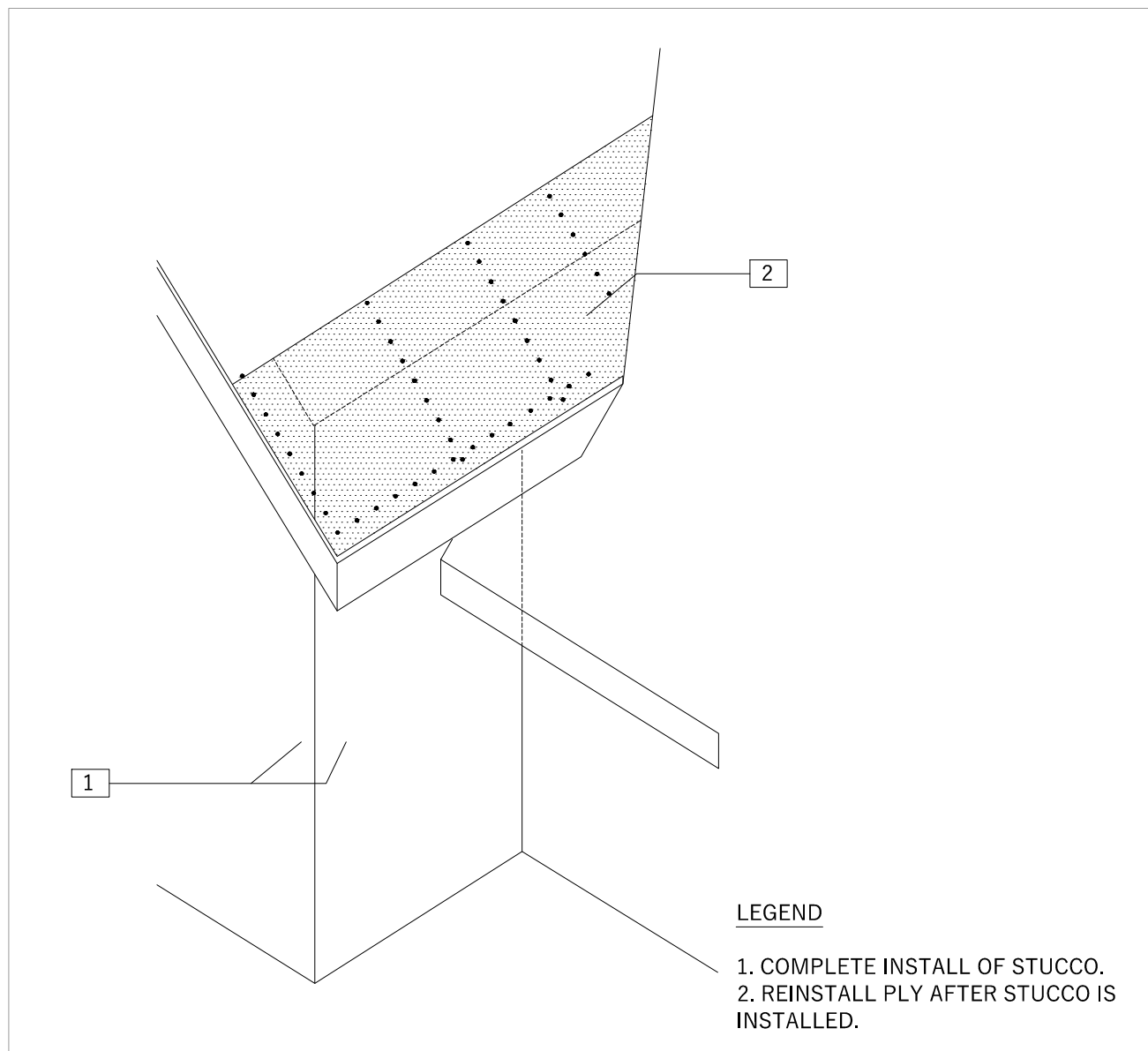


Date: Nov. 10, 2021  
Scale:

DRAWING TITLE:  
**BUILDING PAPER/HOUSE WRAP DETAILS  
AROUND WINDOWS**

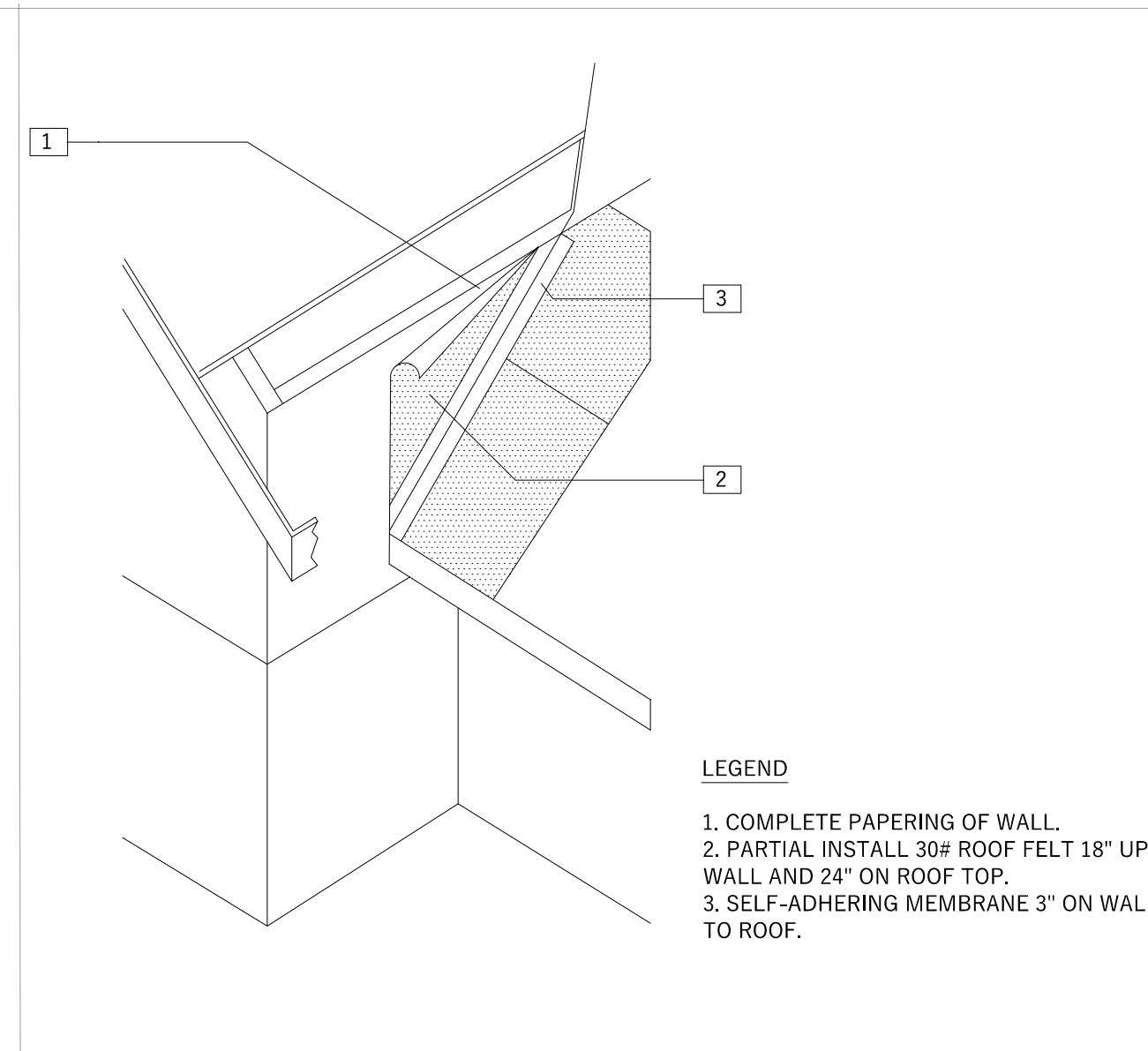
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**A-17**



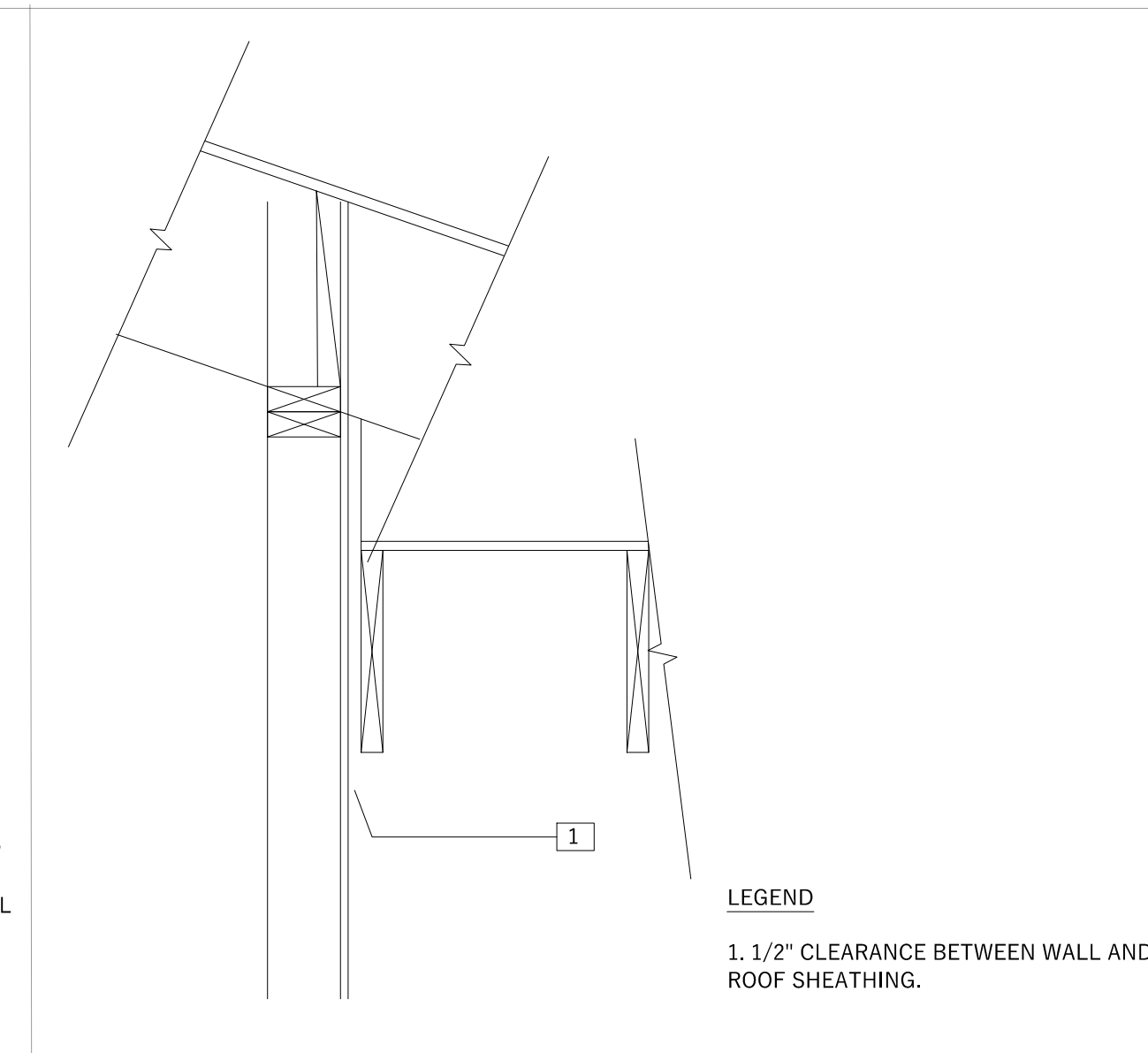
FINAL ROOF SHEATHING

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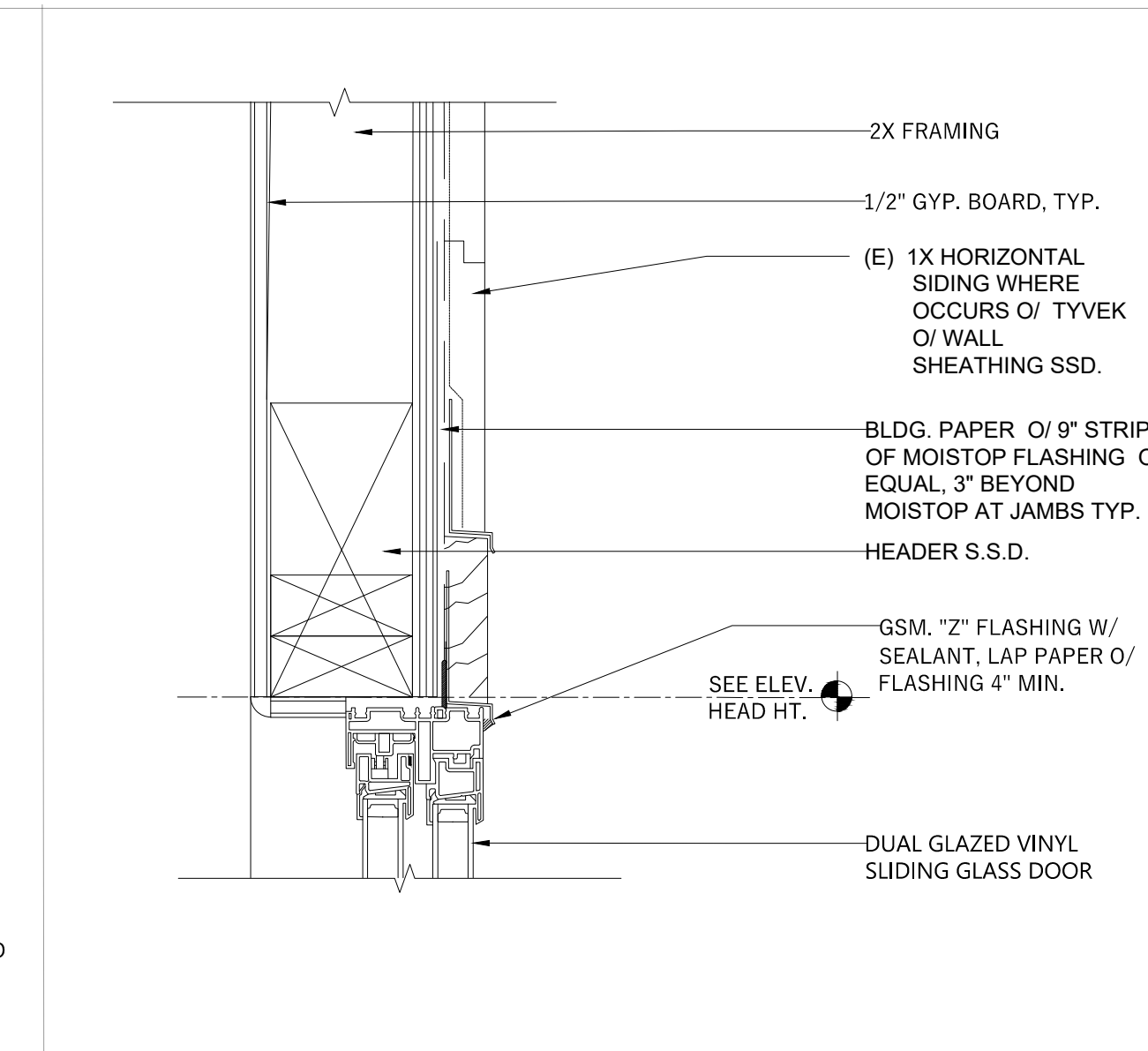
BUILDING PAPER TO WALL

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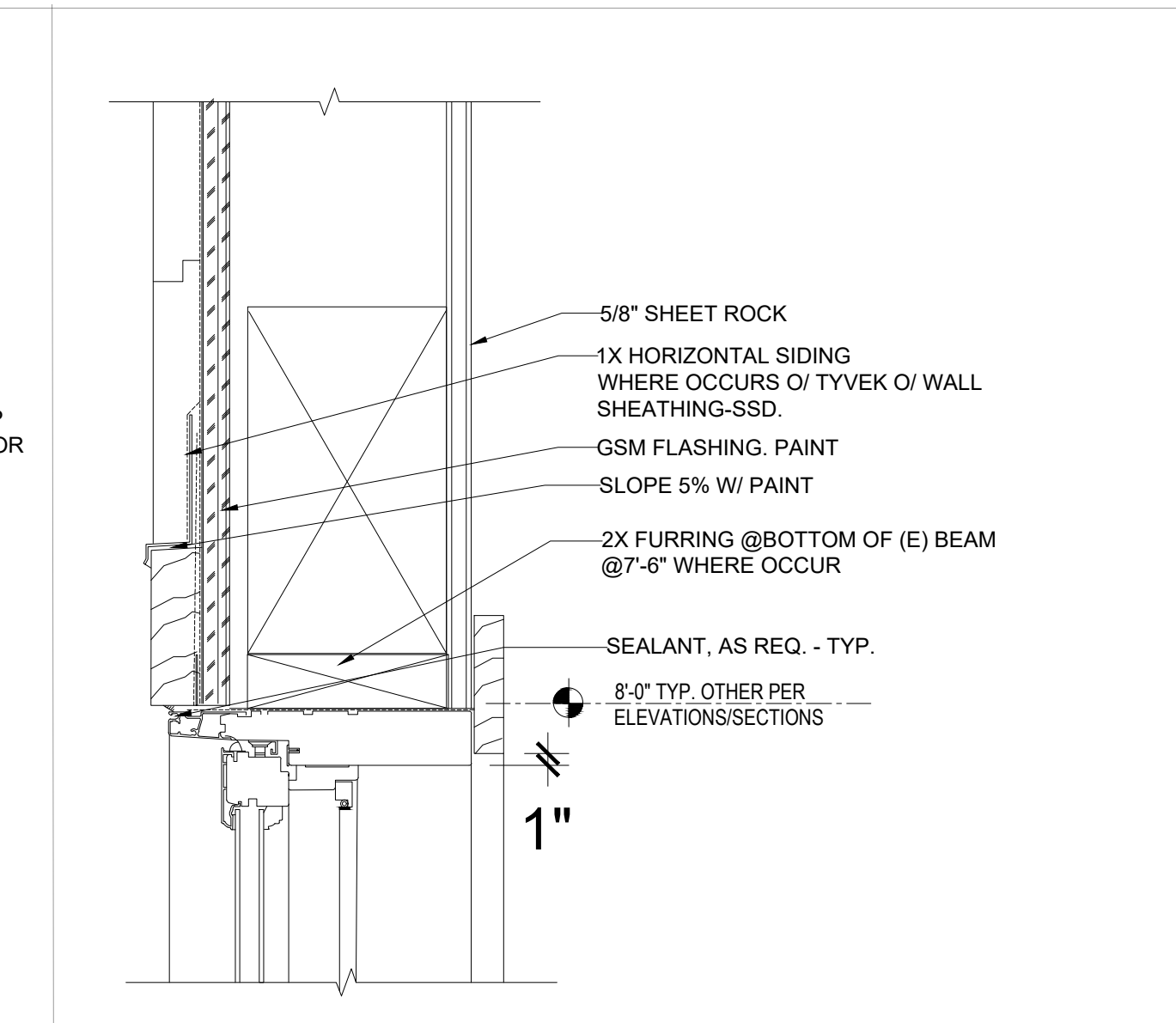
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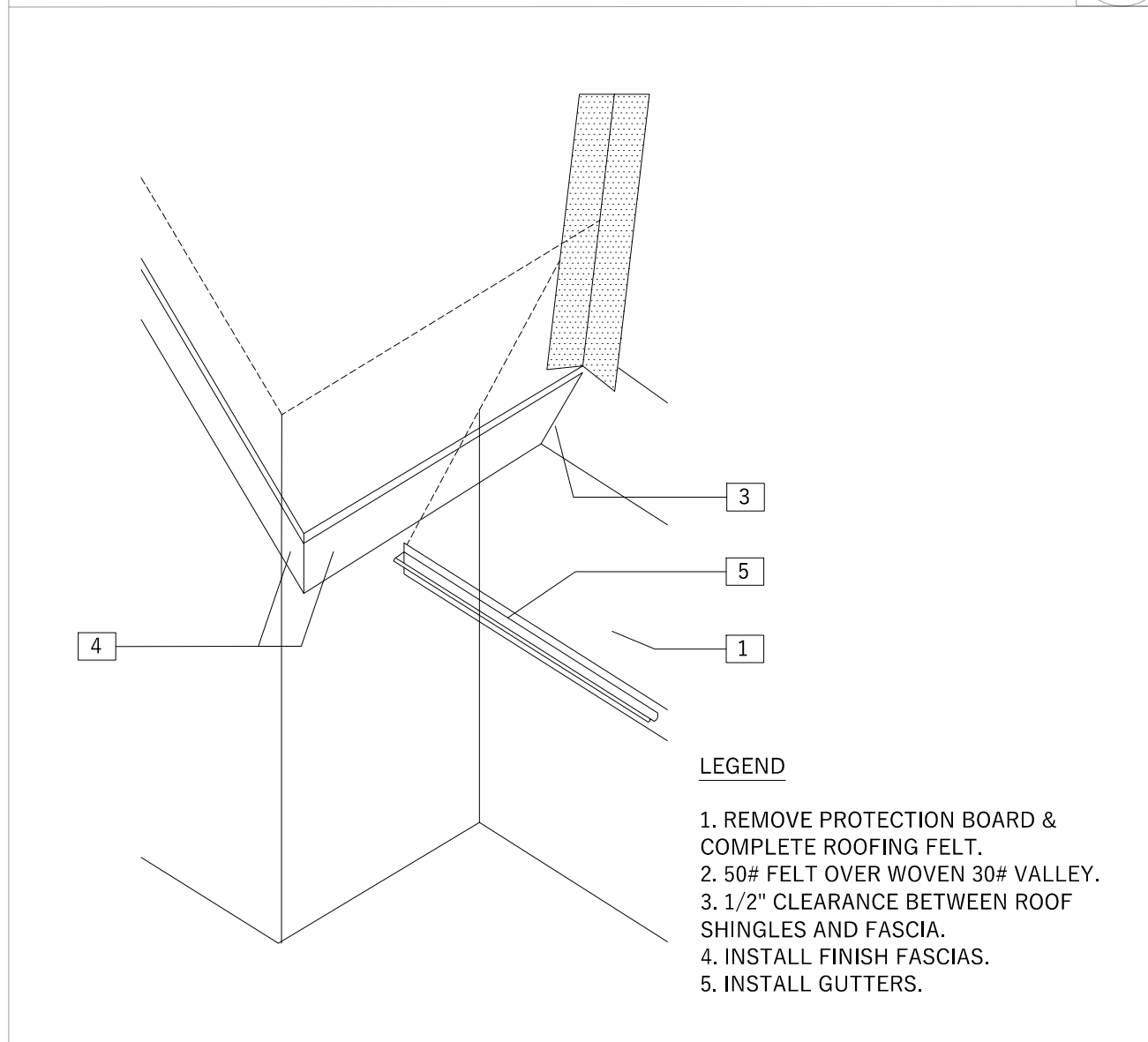
SLIDING GLASS DOOR HEAD/JAMB

18



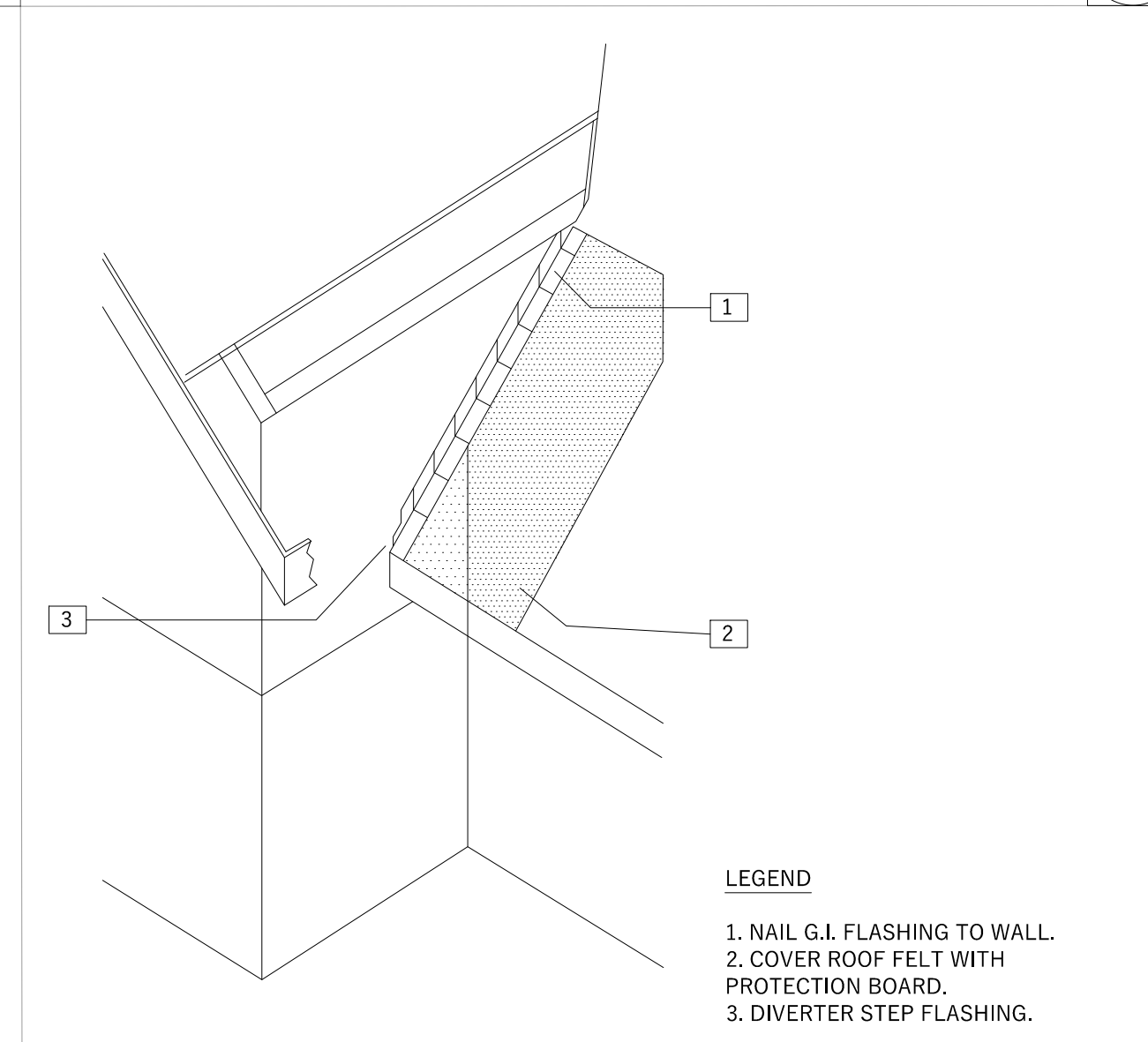
TYP. DOOR HEAD @ HORIZONTAL WD. SIDING

15



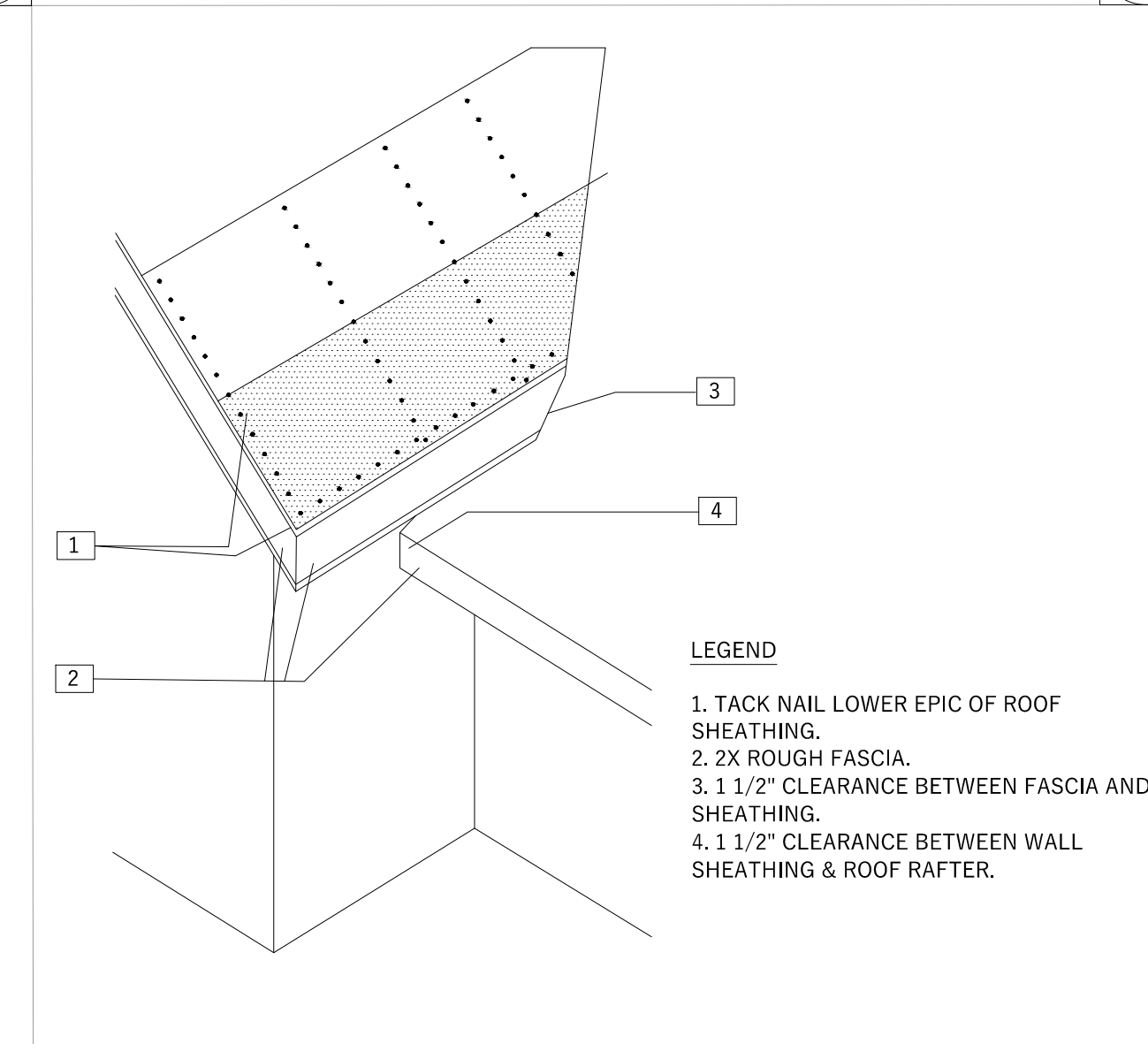
FINISH APPLICATION

8



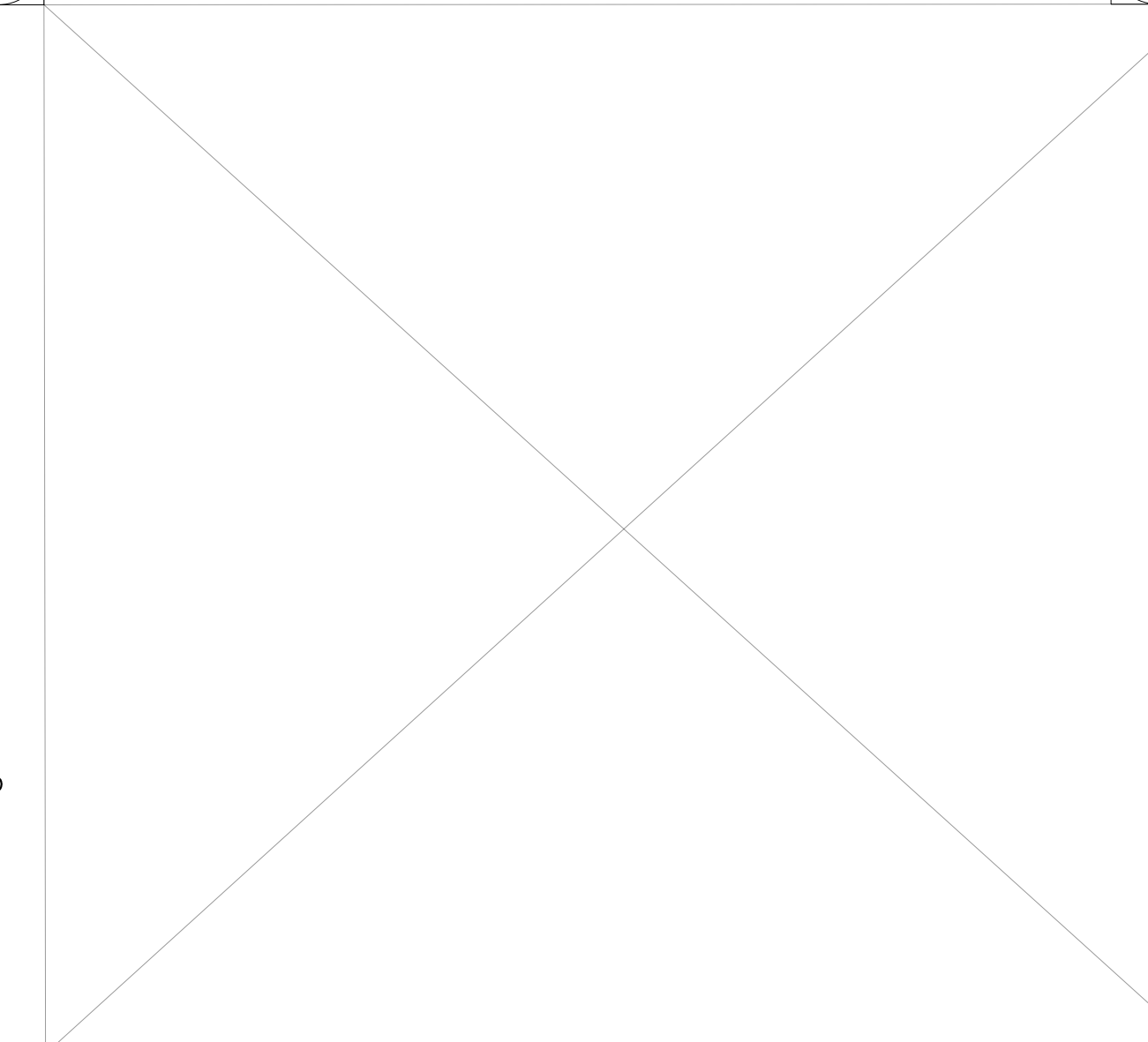
STEP FLASHING

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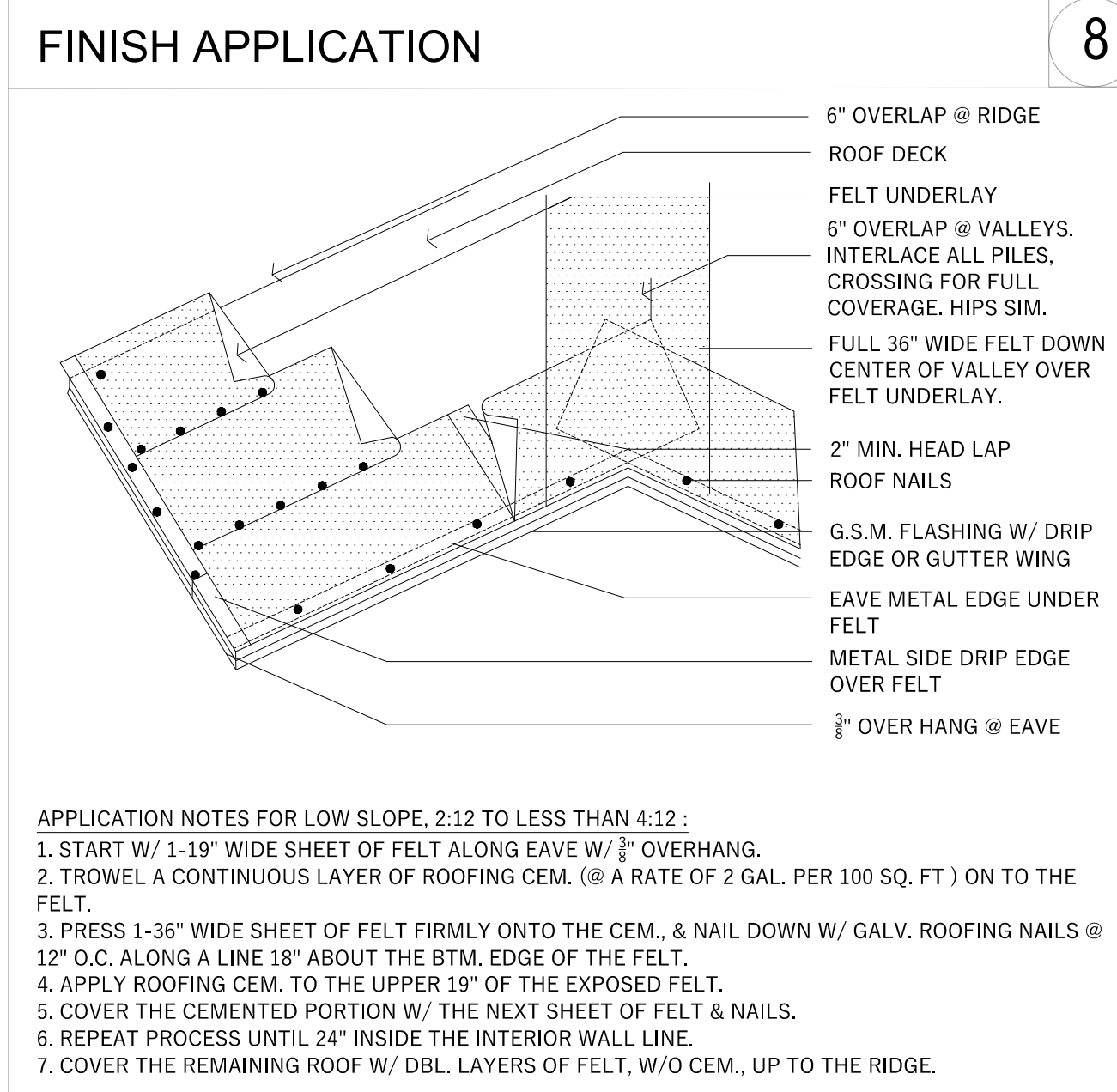
ROUGH FRAMING

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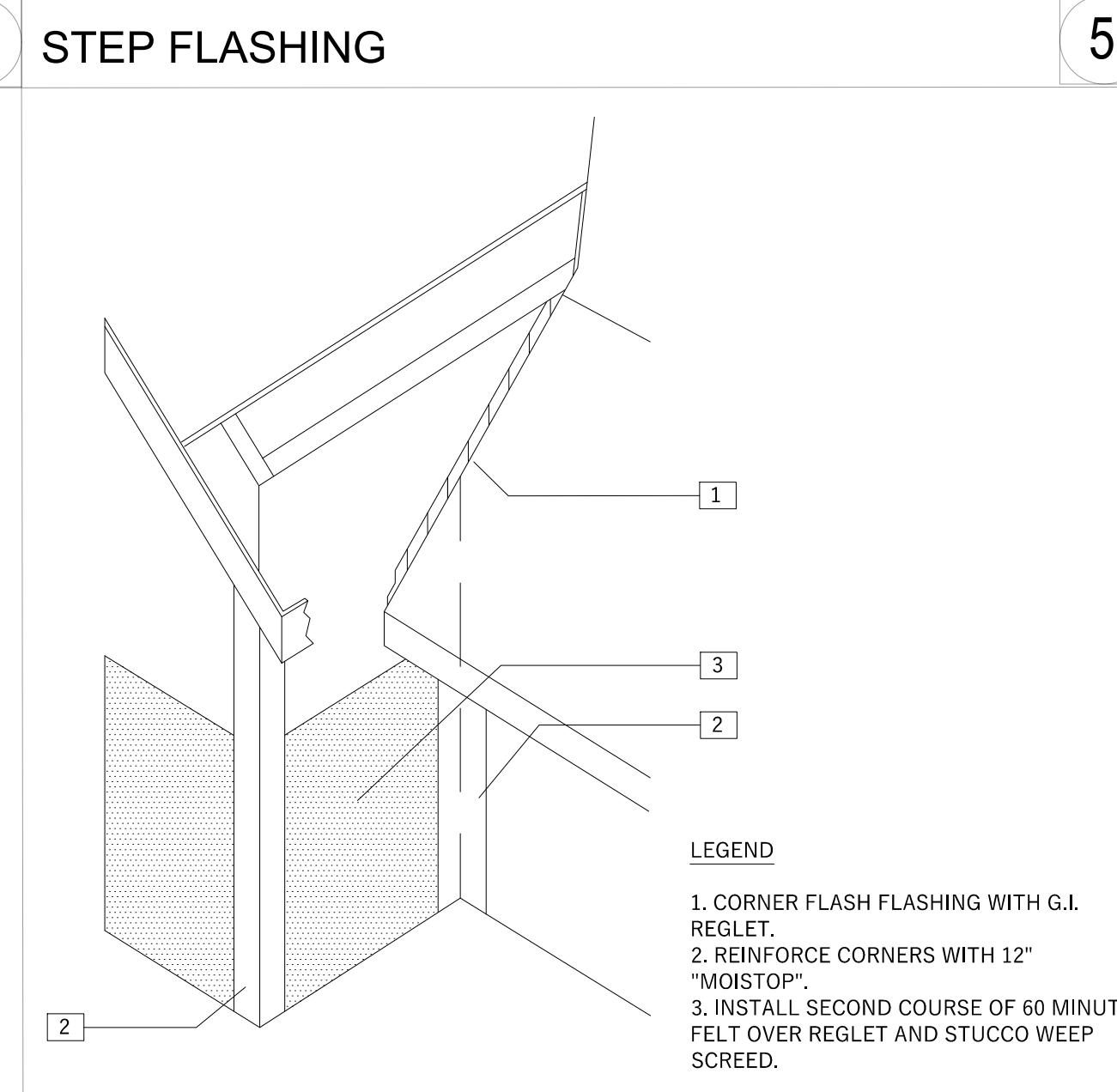
TYP. DOOR JAMB @ HORIZONTAL WD. SIDING

16



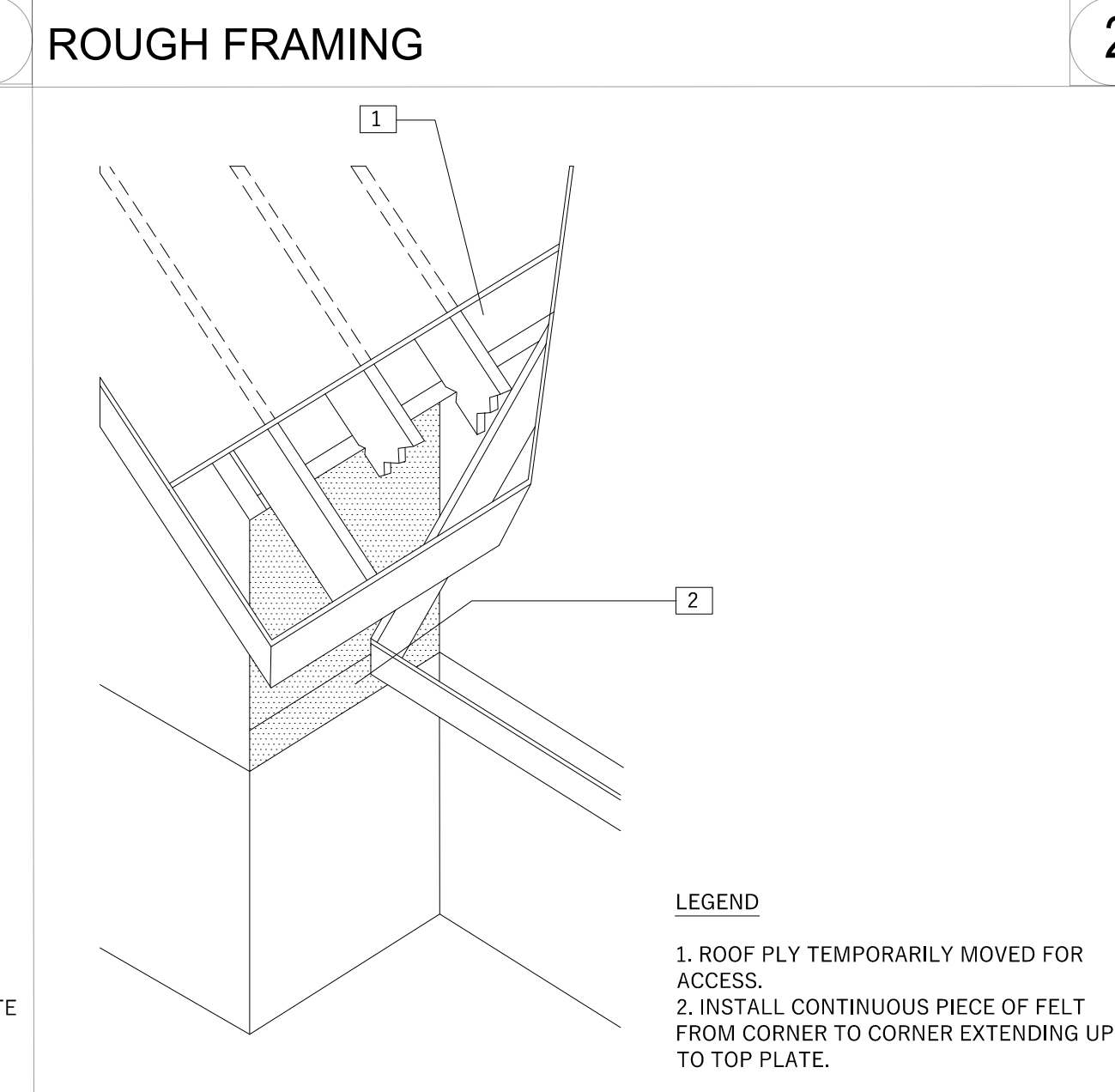
FELT UNDERLAYMENT

9



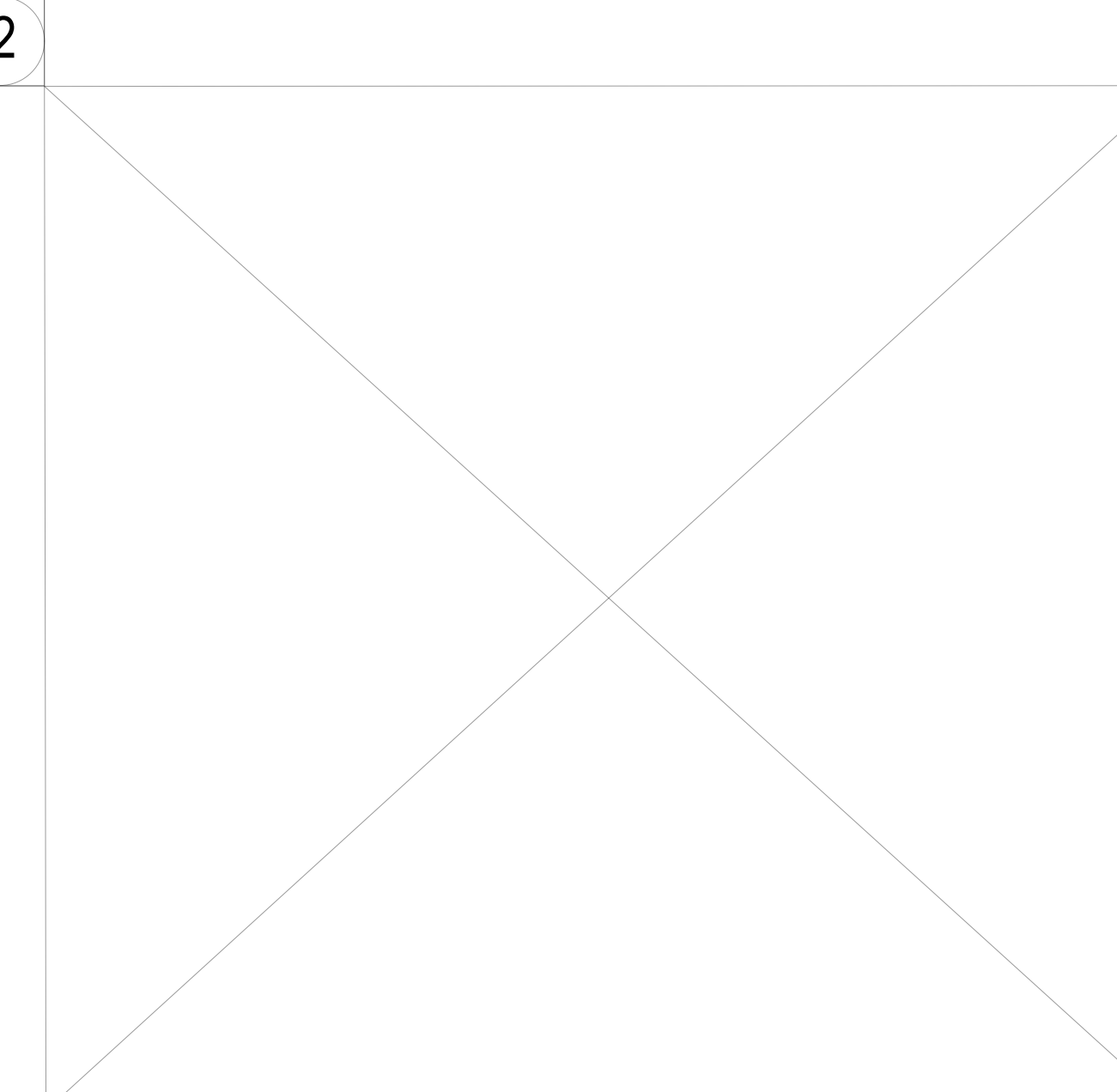
CORNER FLASHING

6



FELT APPLICATION

3



DOOR HEAD/JAMB

17



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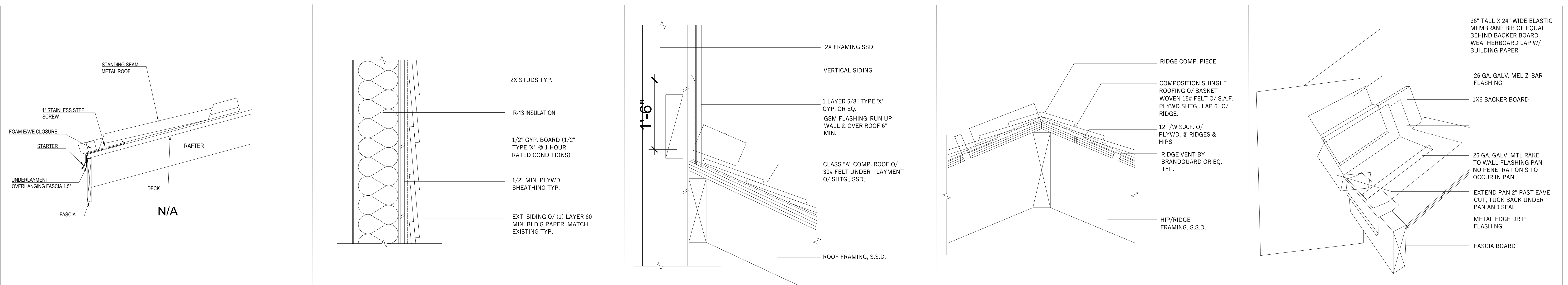
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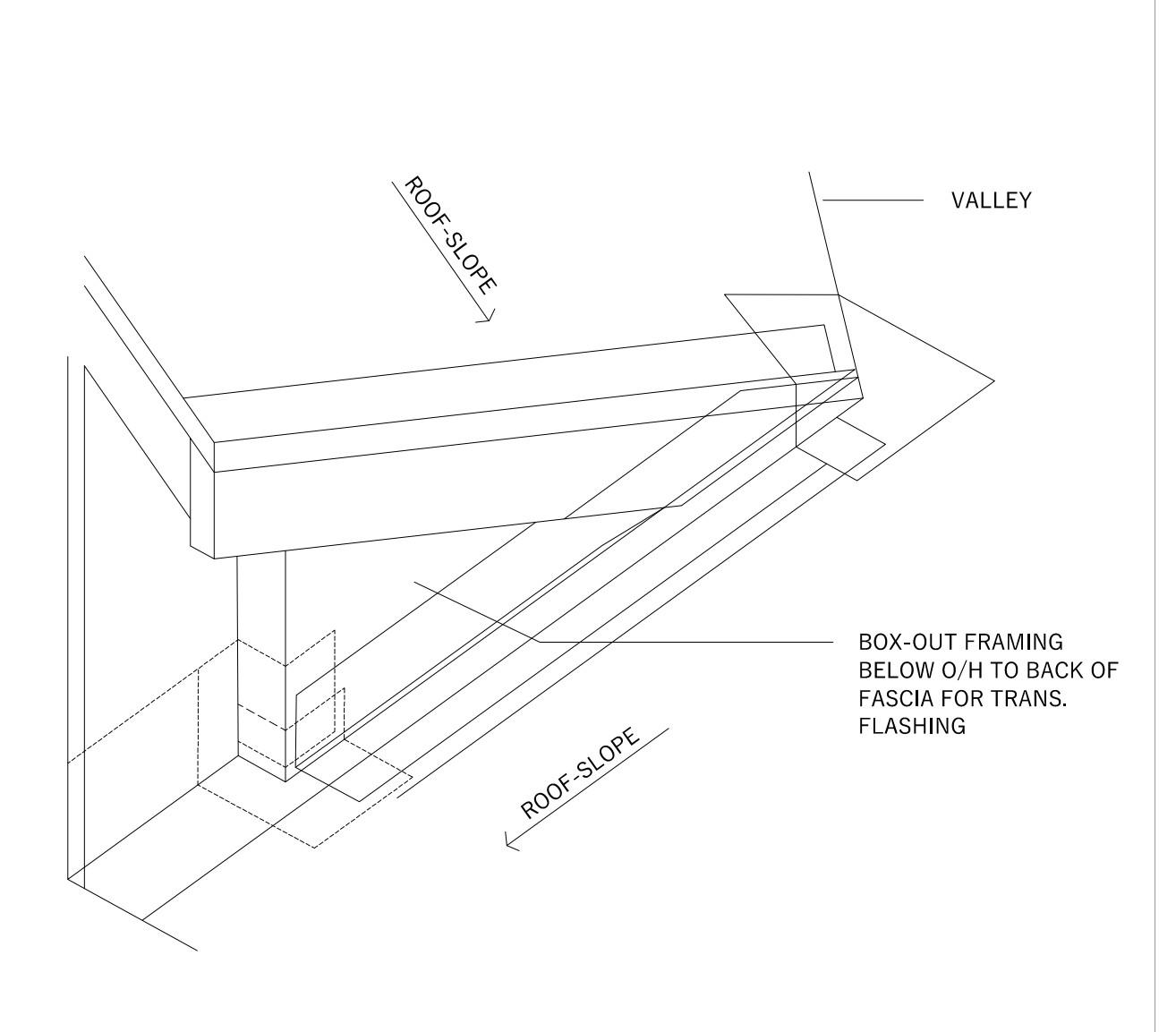
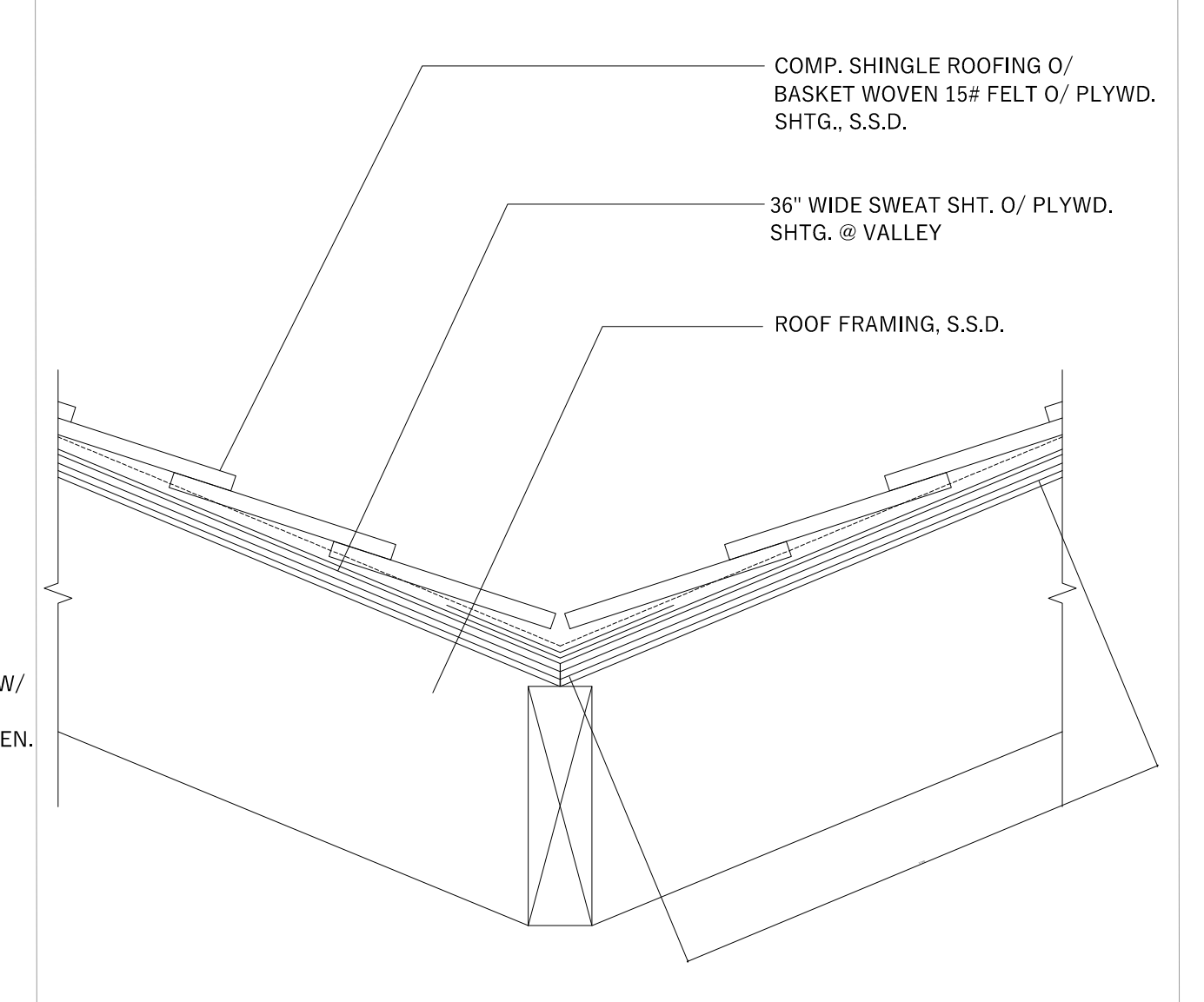
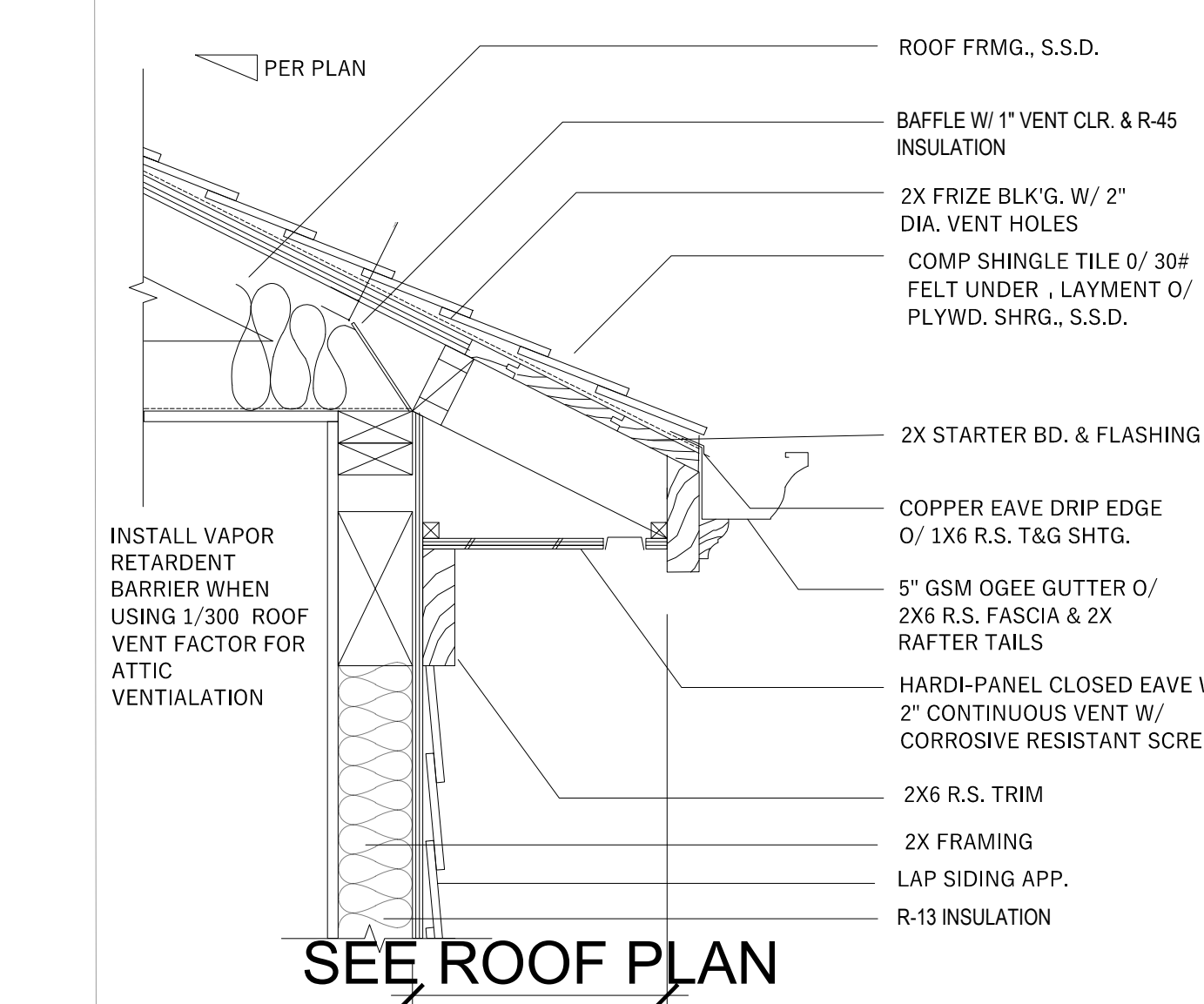
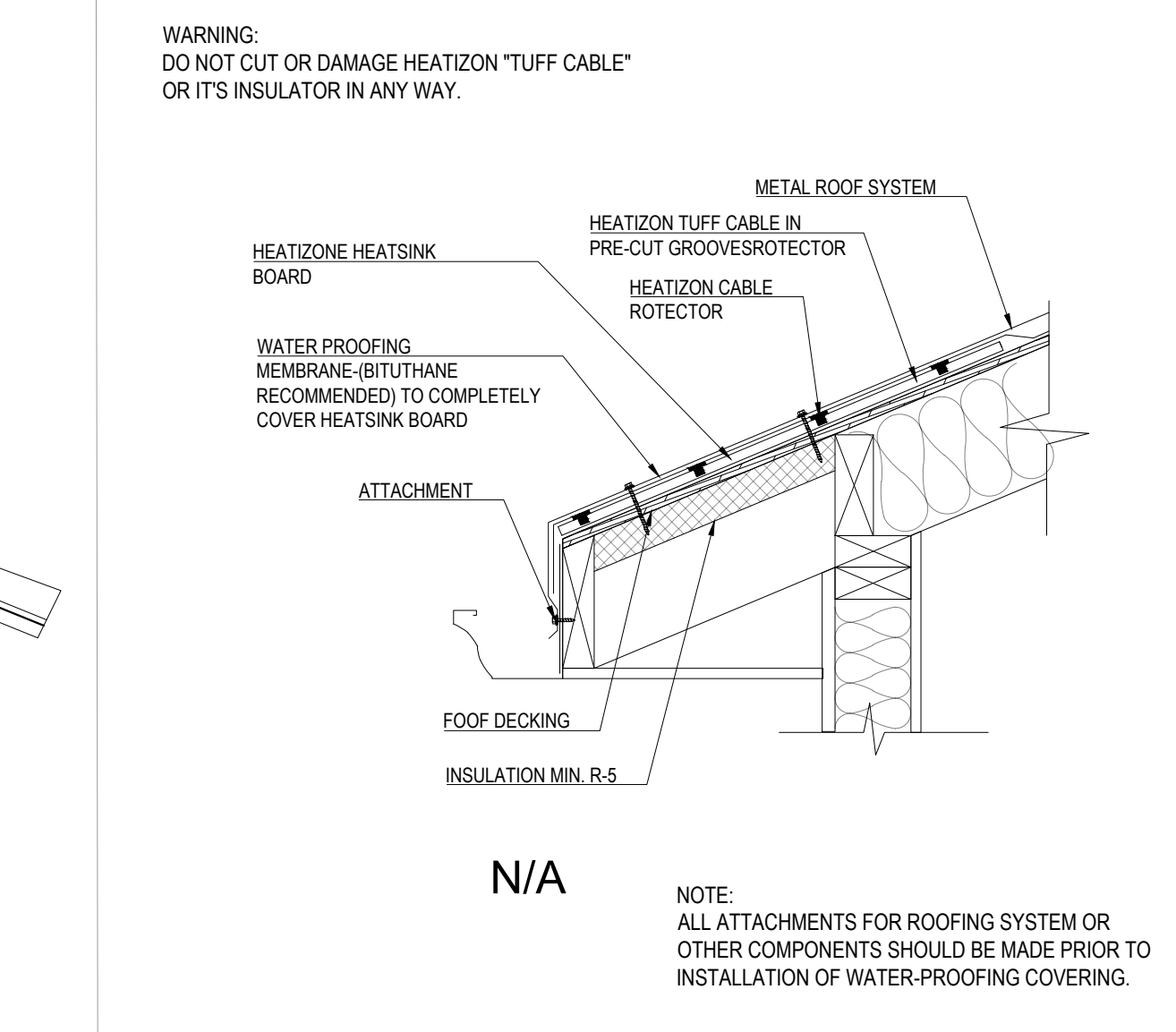
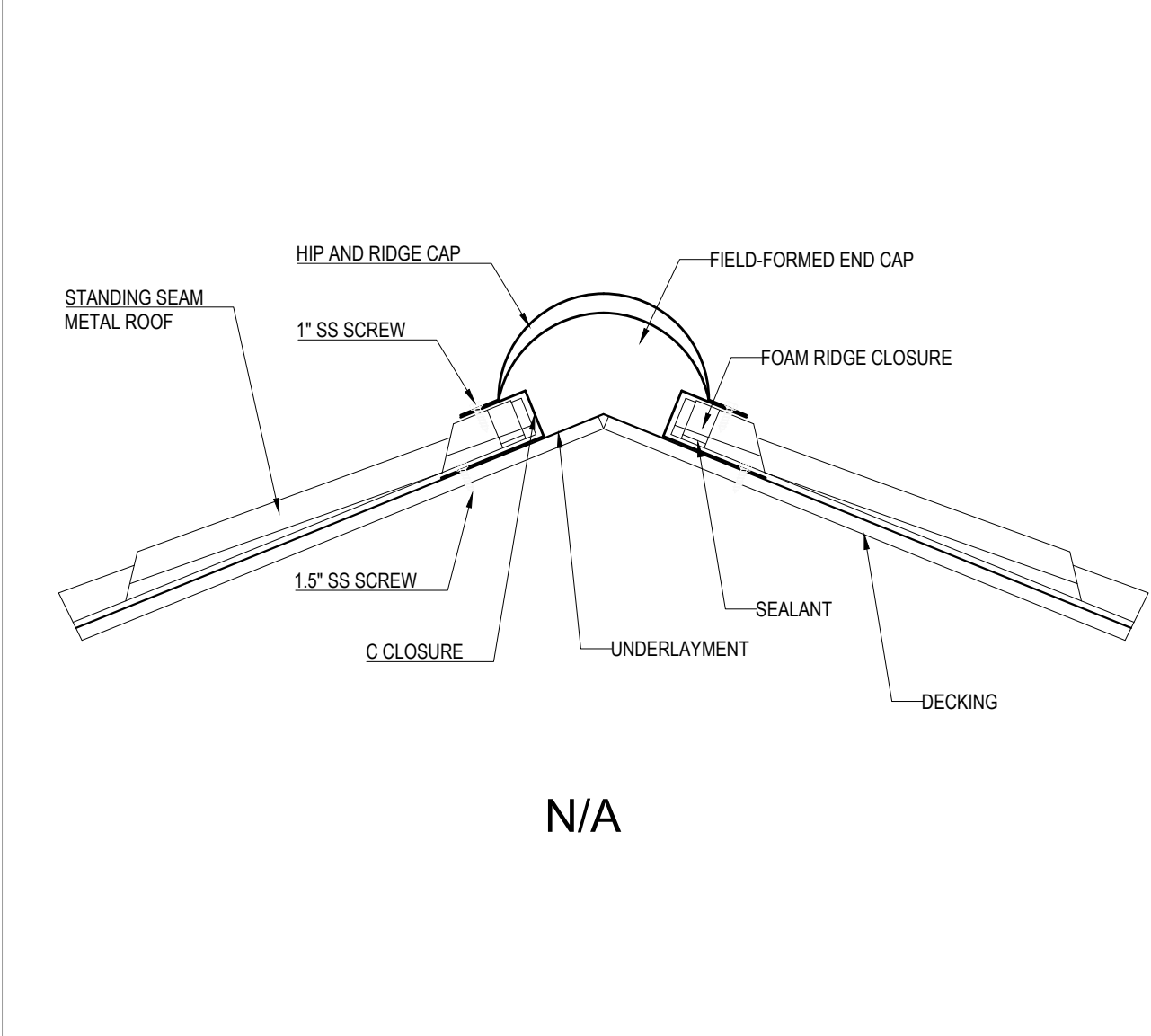
DRAWING TITLE:  
**BUILDING PAPER/HOUSE WRAP DETAILS  
AROUND WALL TO ROOF TRANSITION**

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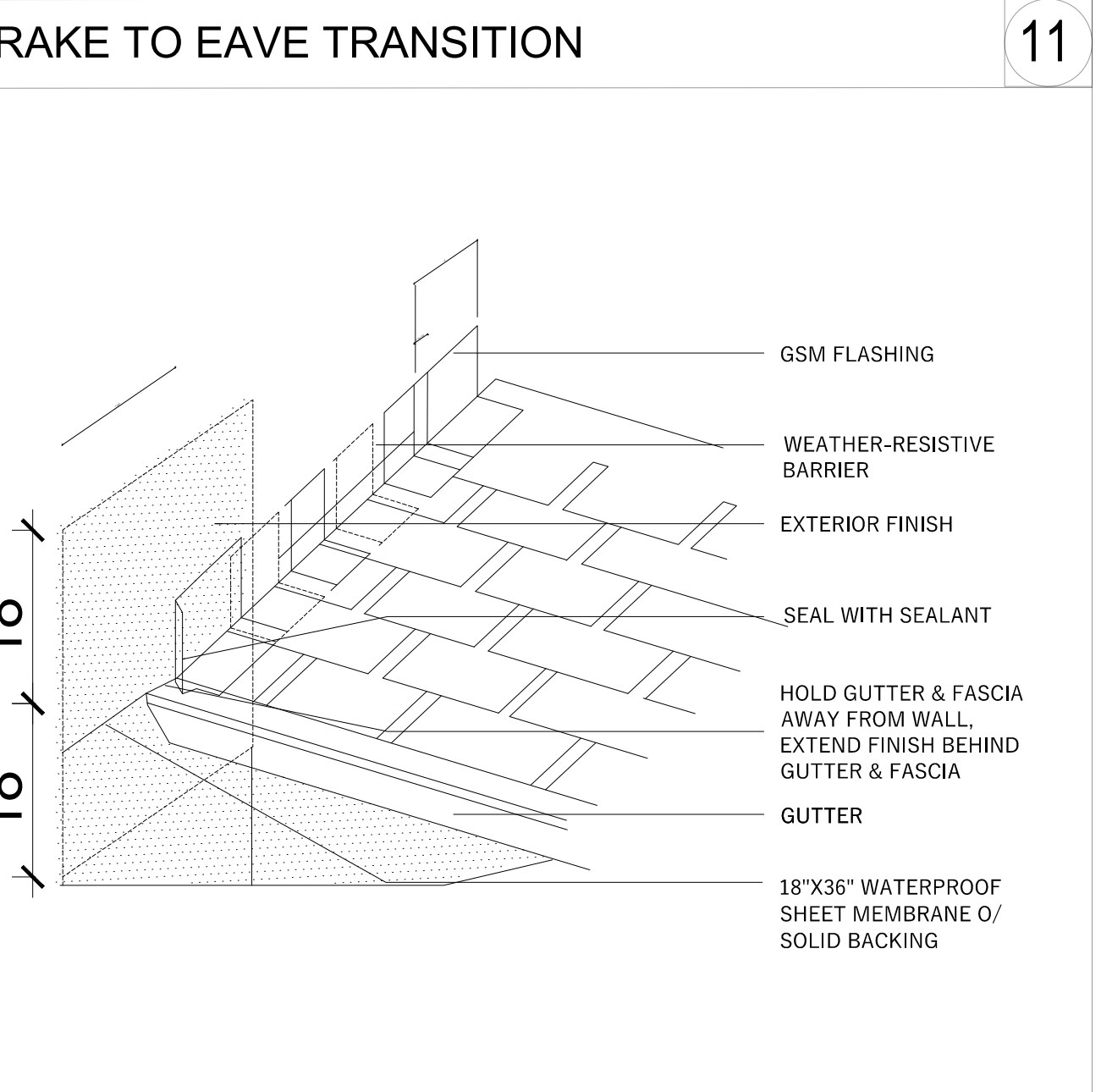
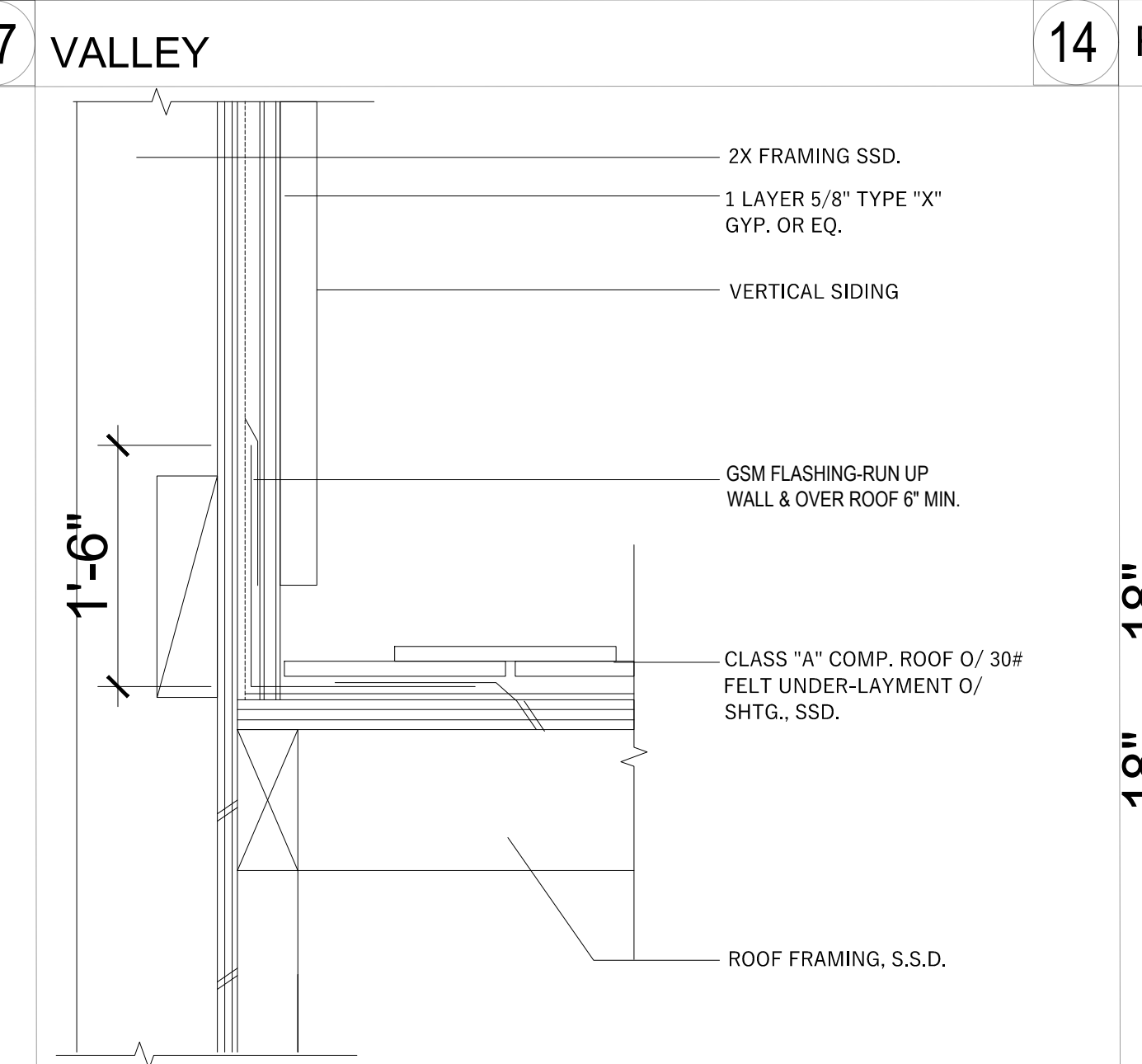
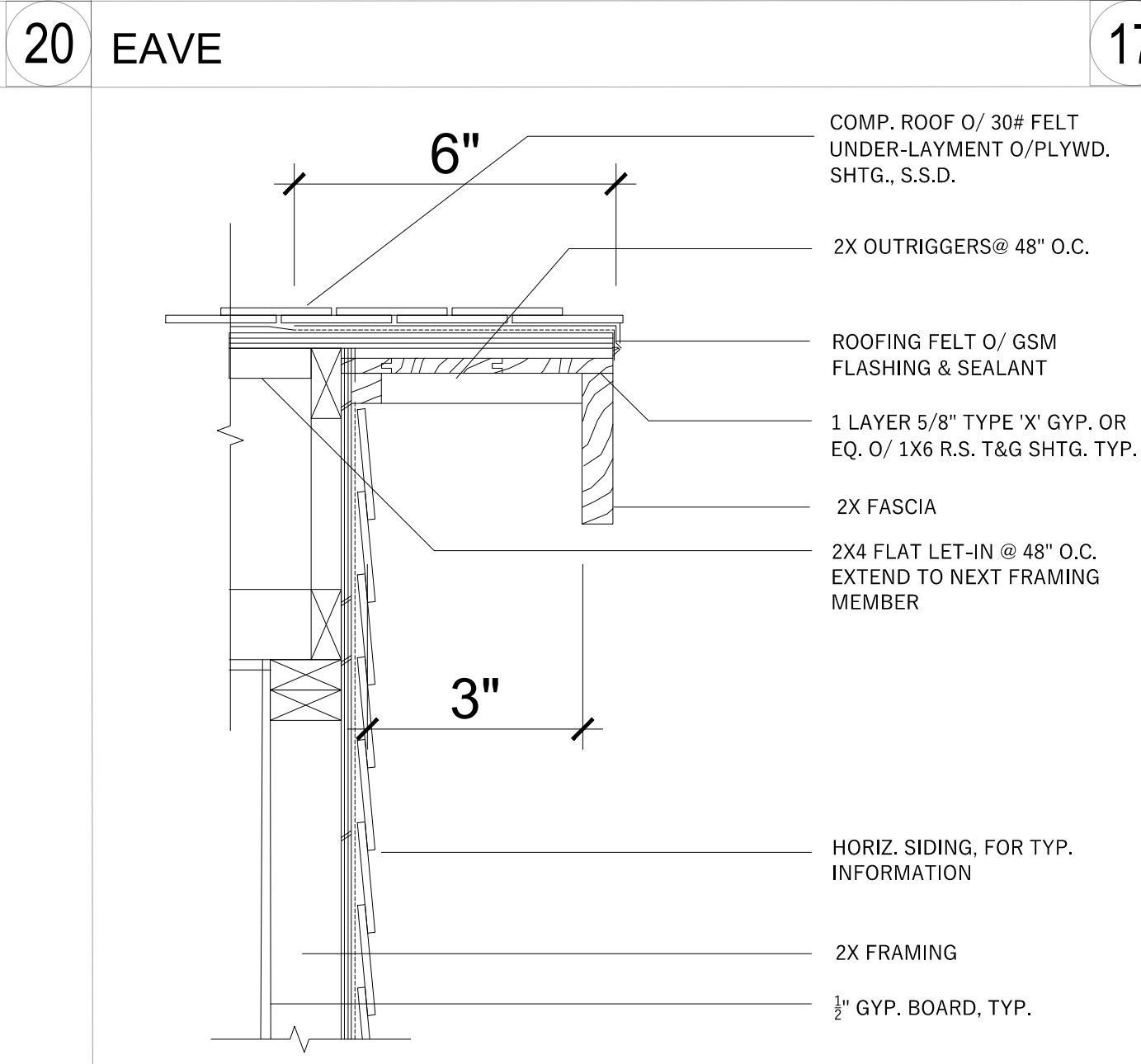
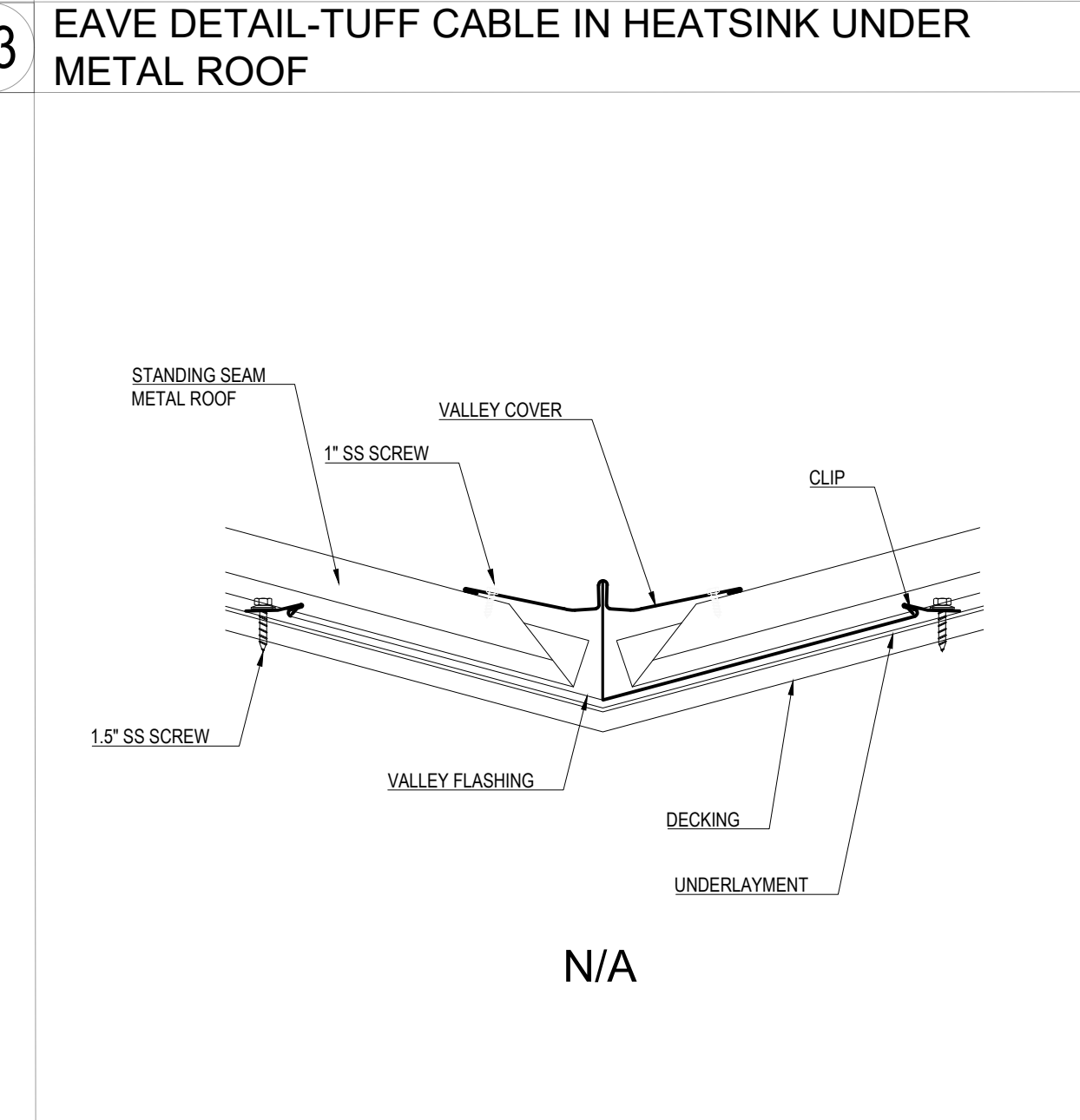
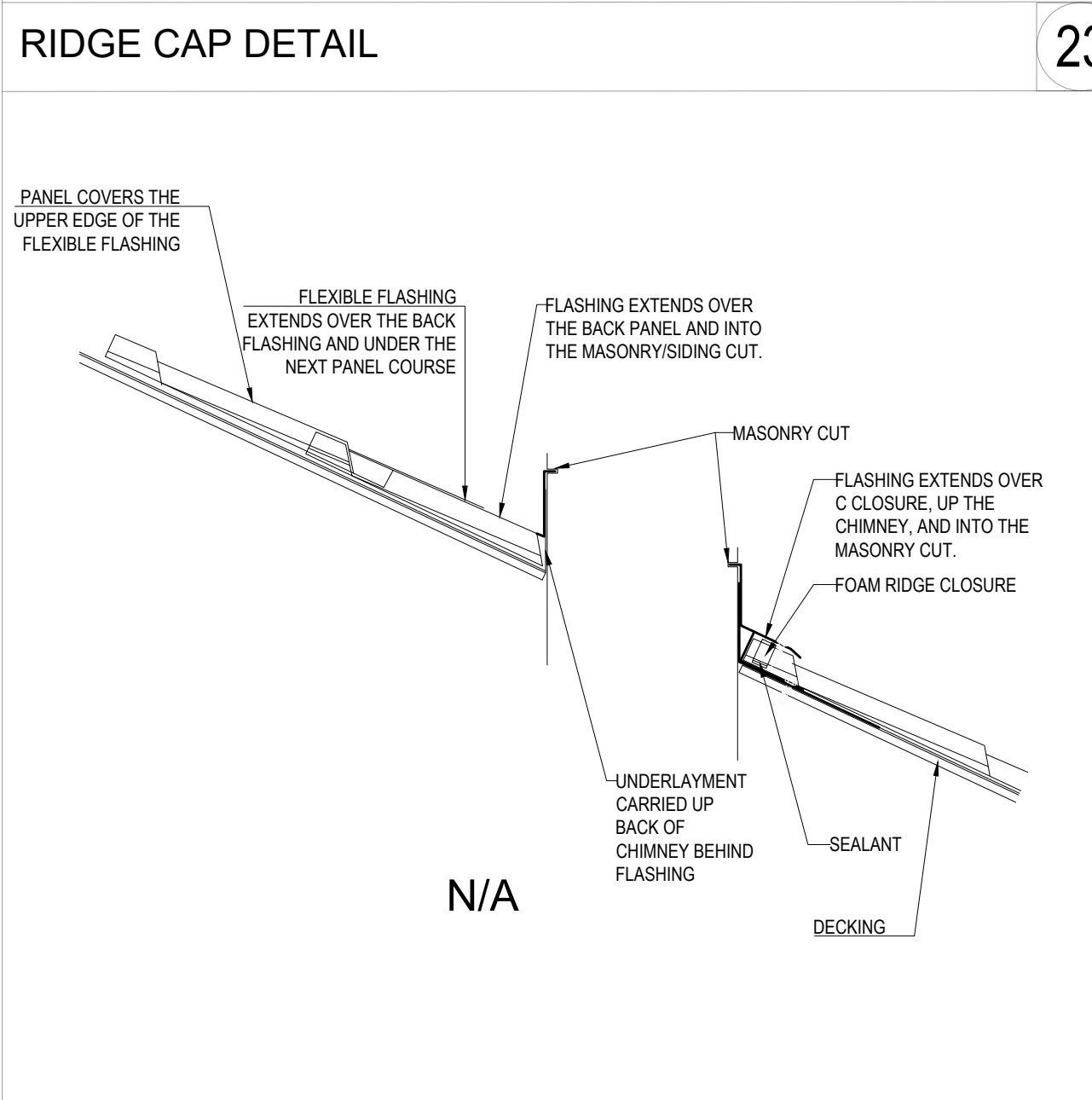
**A-18**



19 ROOF TO WALL PERP. 16 RIDGE 13 RAKE TO WALL DIVERTER



22 HORIZONTAL LAP SIDING 20 EAVE 17 VALLEY 14 RAKE TO EAVE TRANSITION 11 ISOMETRIC EAVE PERP. TO WALL @ COMP.



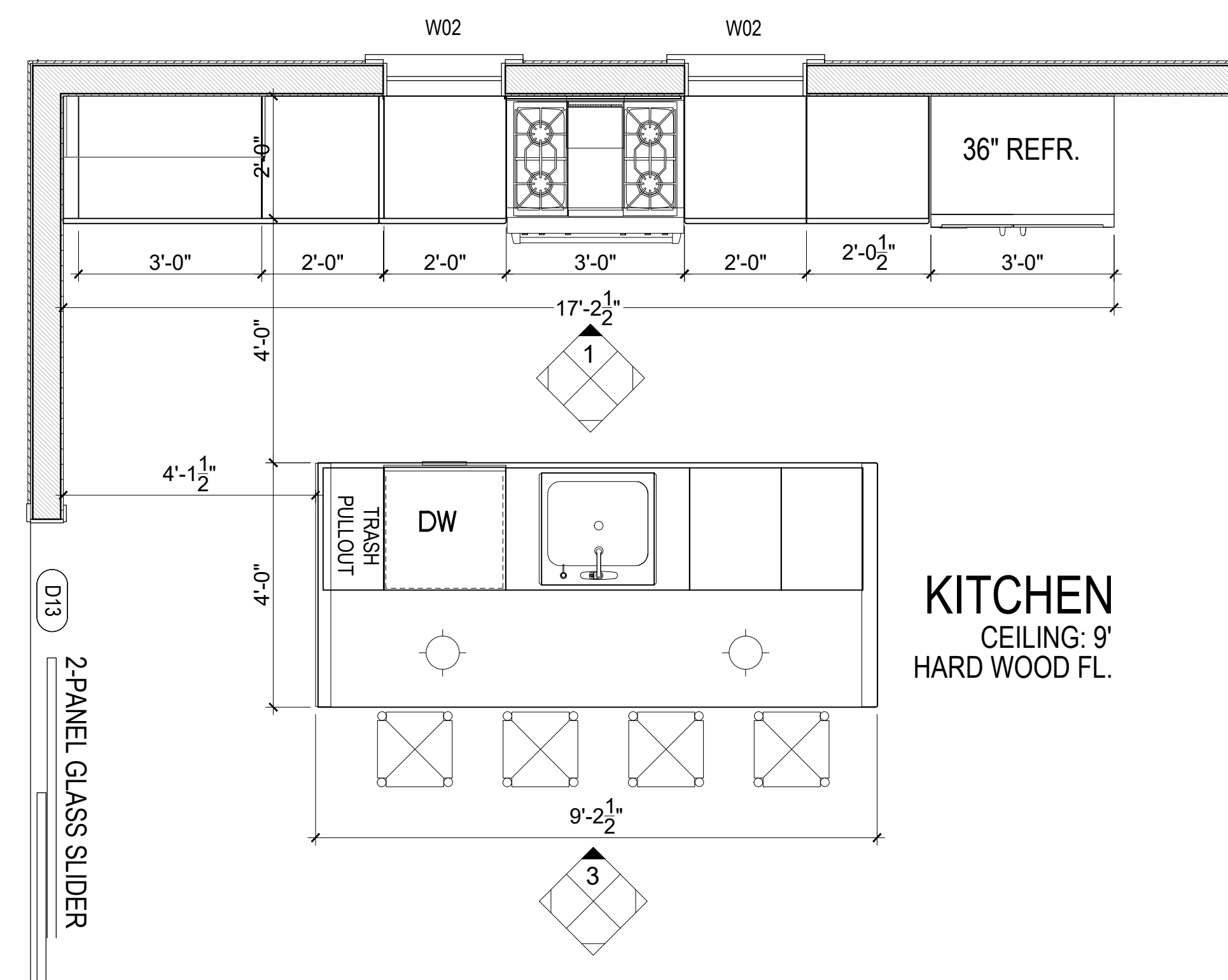
24 METAL ROOF CHIMNEY FLASHING DETAILS 21 METAL ROOF VALLEY DETAIL 18 RAKE 15 ISOMETRIC EAVE PERP. TO WALL @ COMP. 12



5

PROPOSED KITCHEN INT. PERSPECTIVE VIEW

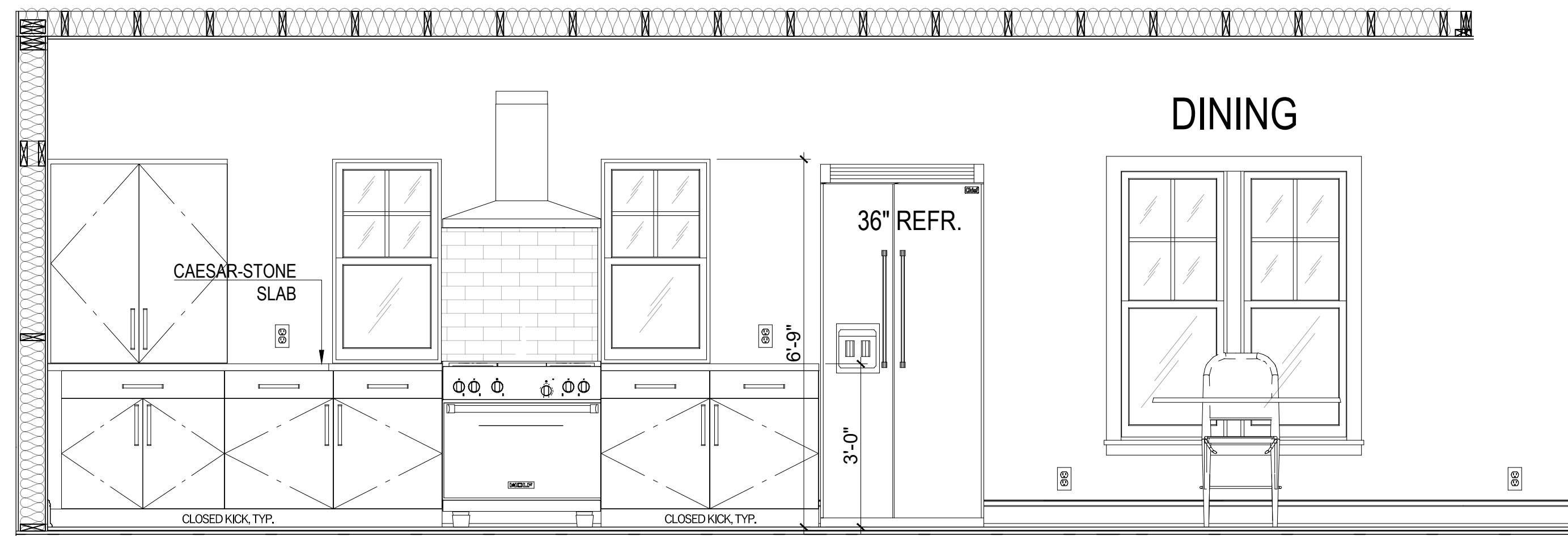
NTS



4

PROPOSED ENLARGED KITCHEN FLOOR PLAN

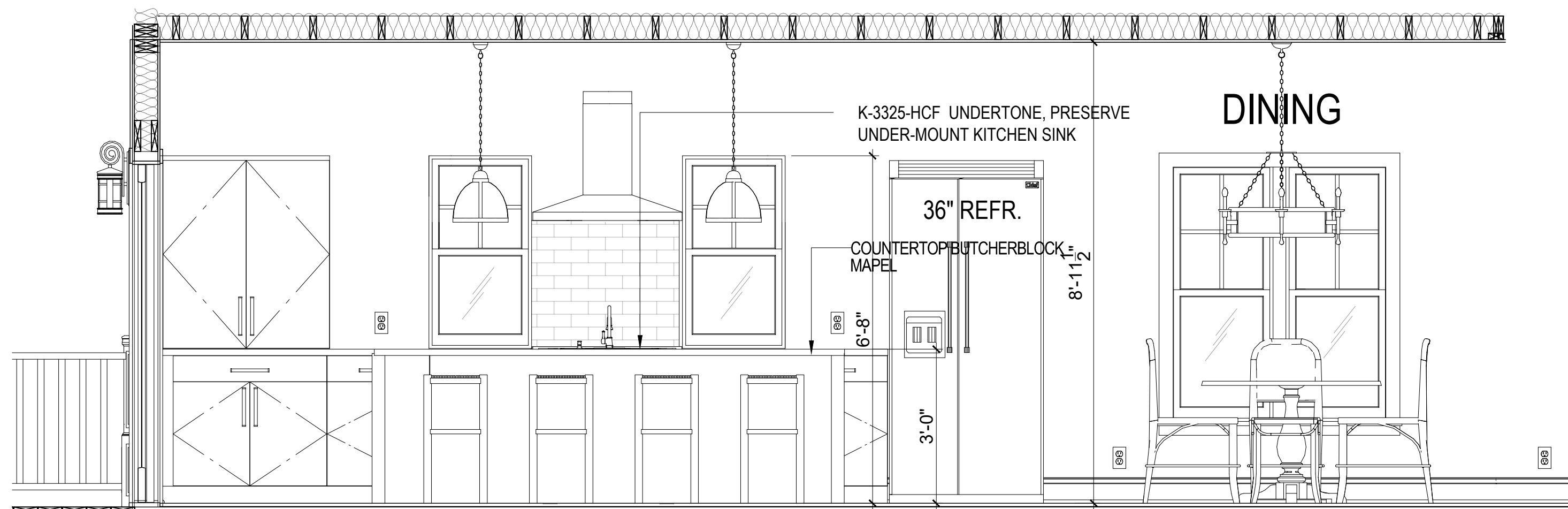
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1

PROPOSED KITCHEN INT. ELEVATION

Scale: 1/2" = 1' - 00"



3

PROPOSED KITCHEN INT. ELEVATION

Scale: 1/2" = 1' - 00"



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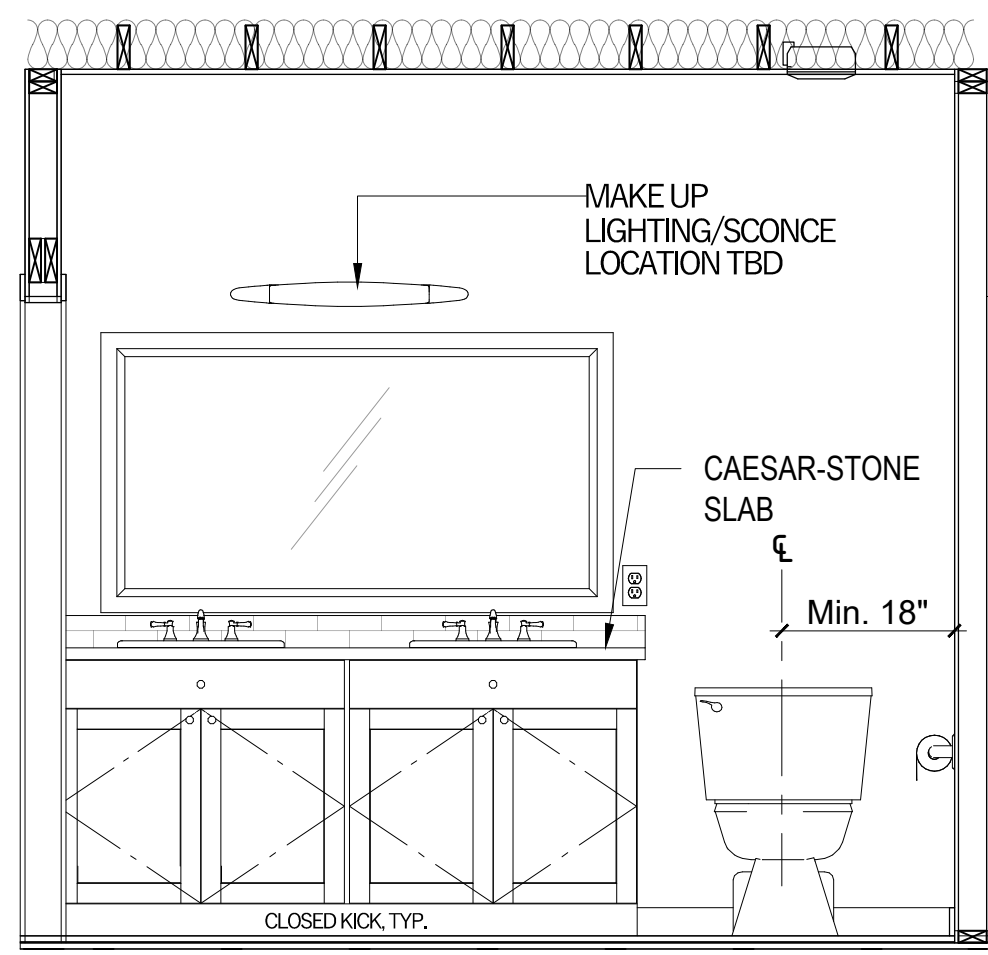
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PROPOSED KITCHEN INT. ELEVATION

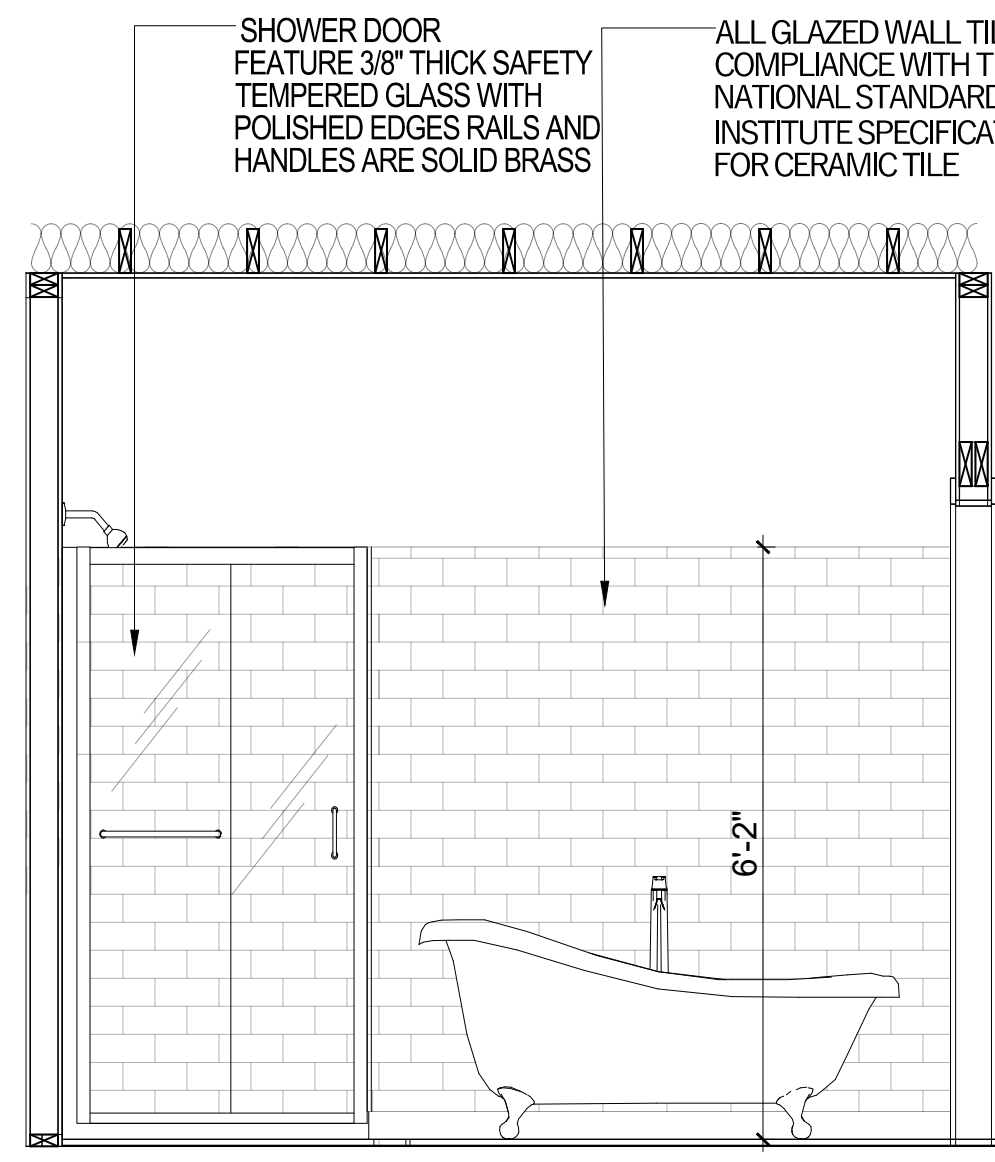
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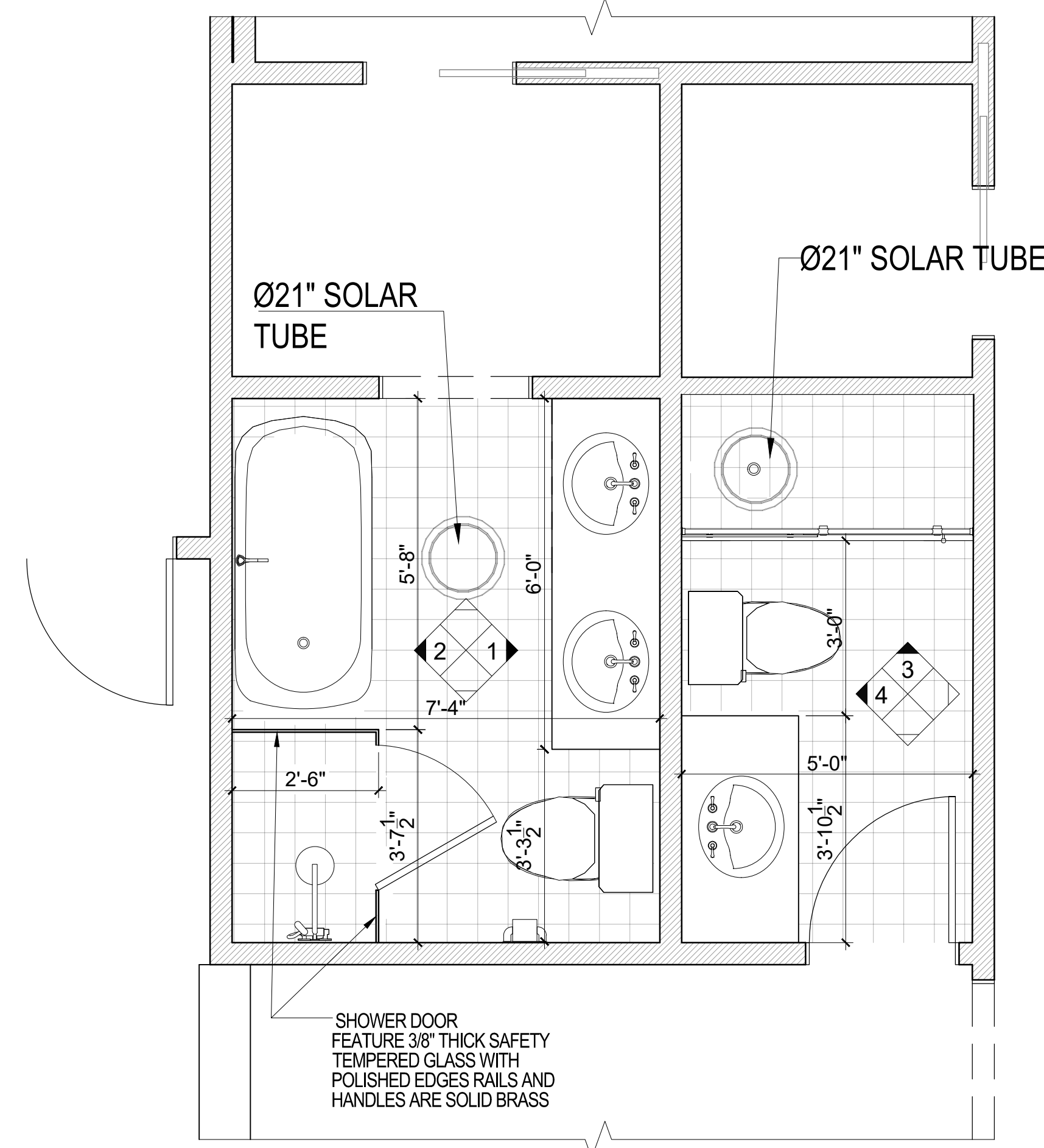
A-20



1 M. BATHROOM INT. ELEVATION  
SCALE: 1/2" = 1'-00"



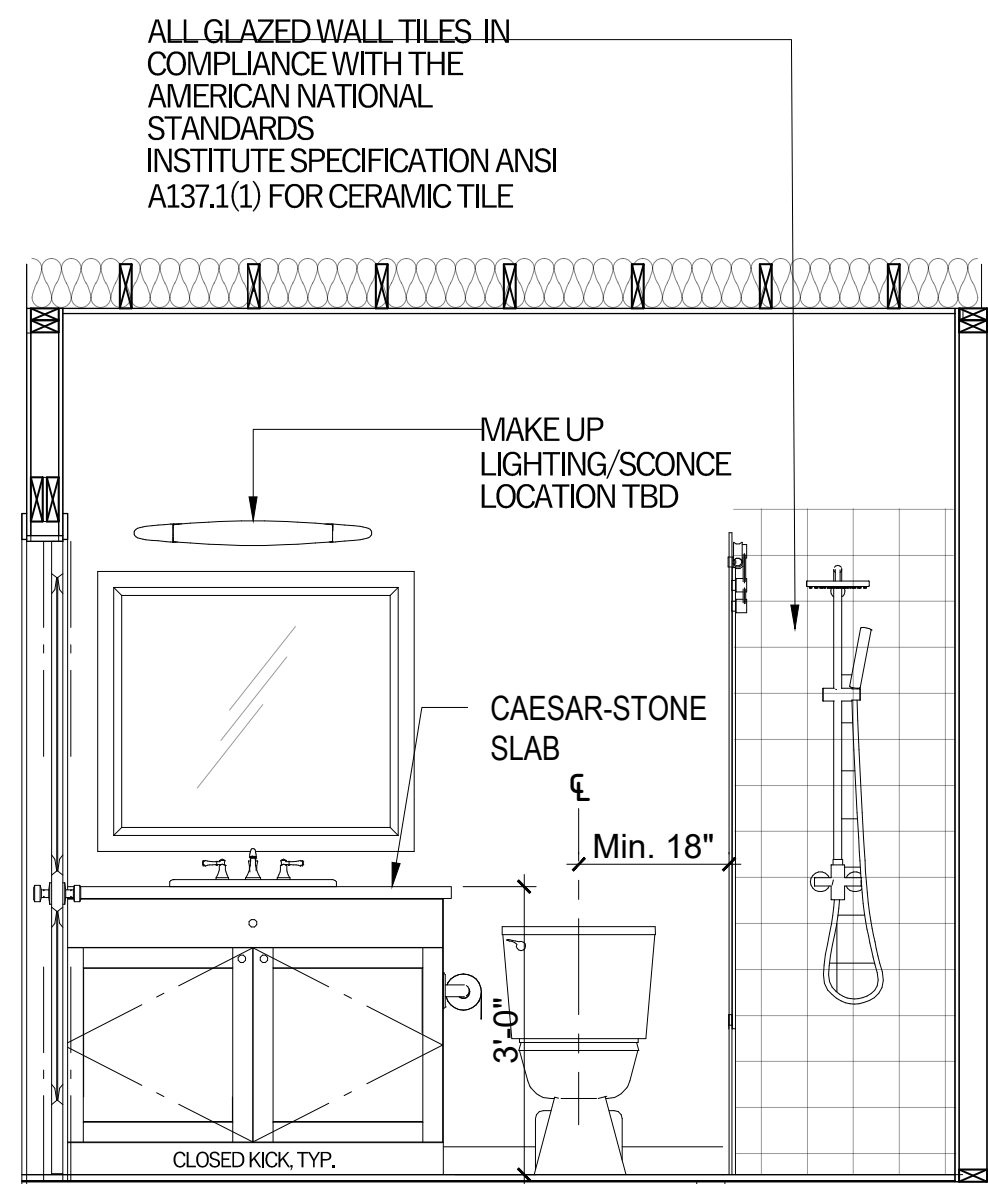
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SCALE: 1/2" = 1'-00"



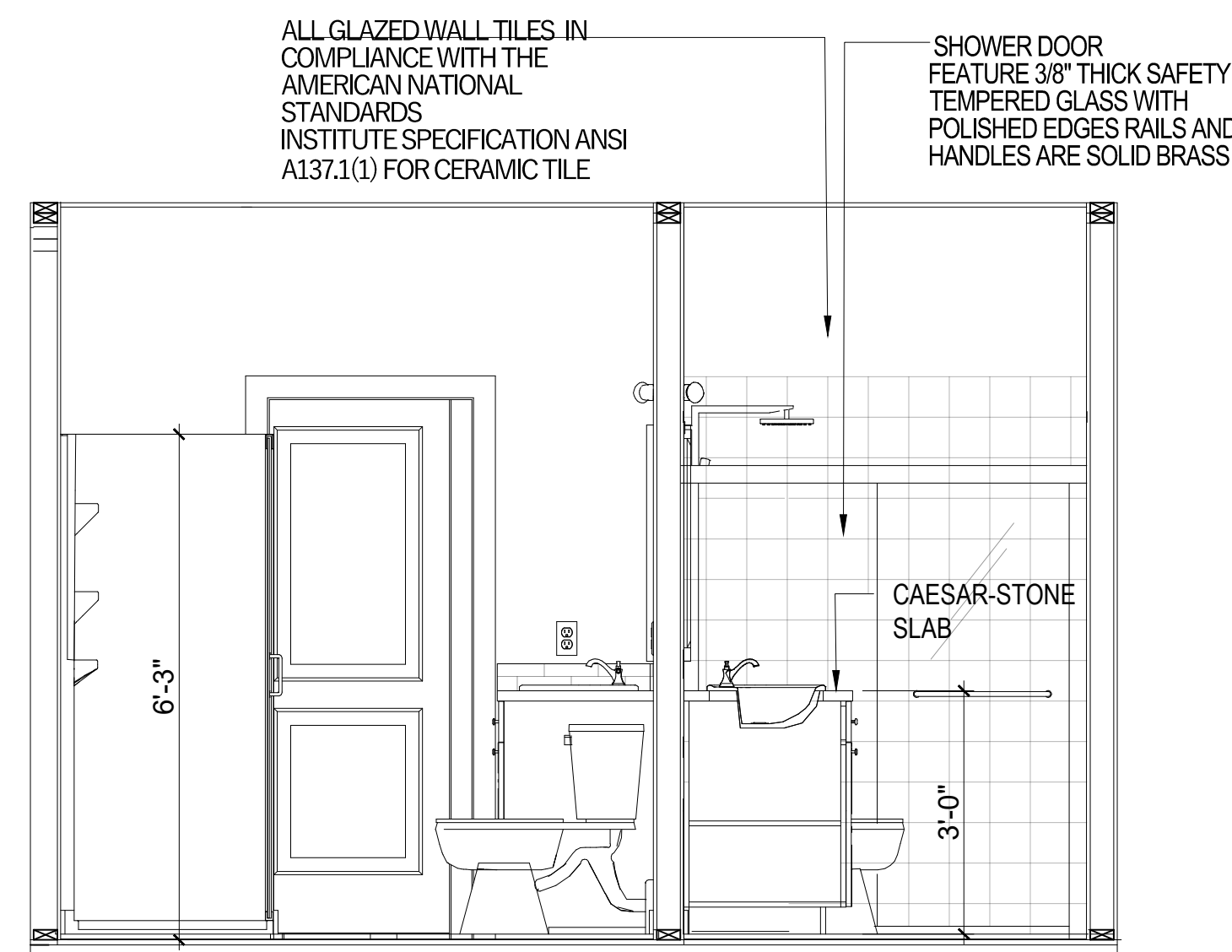
5 ENLARGED BATHROOMS FLOOR PLAN  
SCALE: 1/2" = 1'-00"



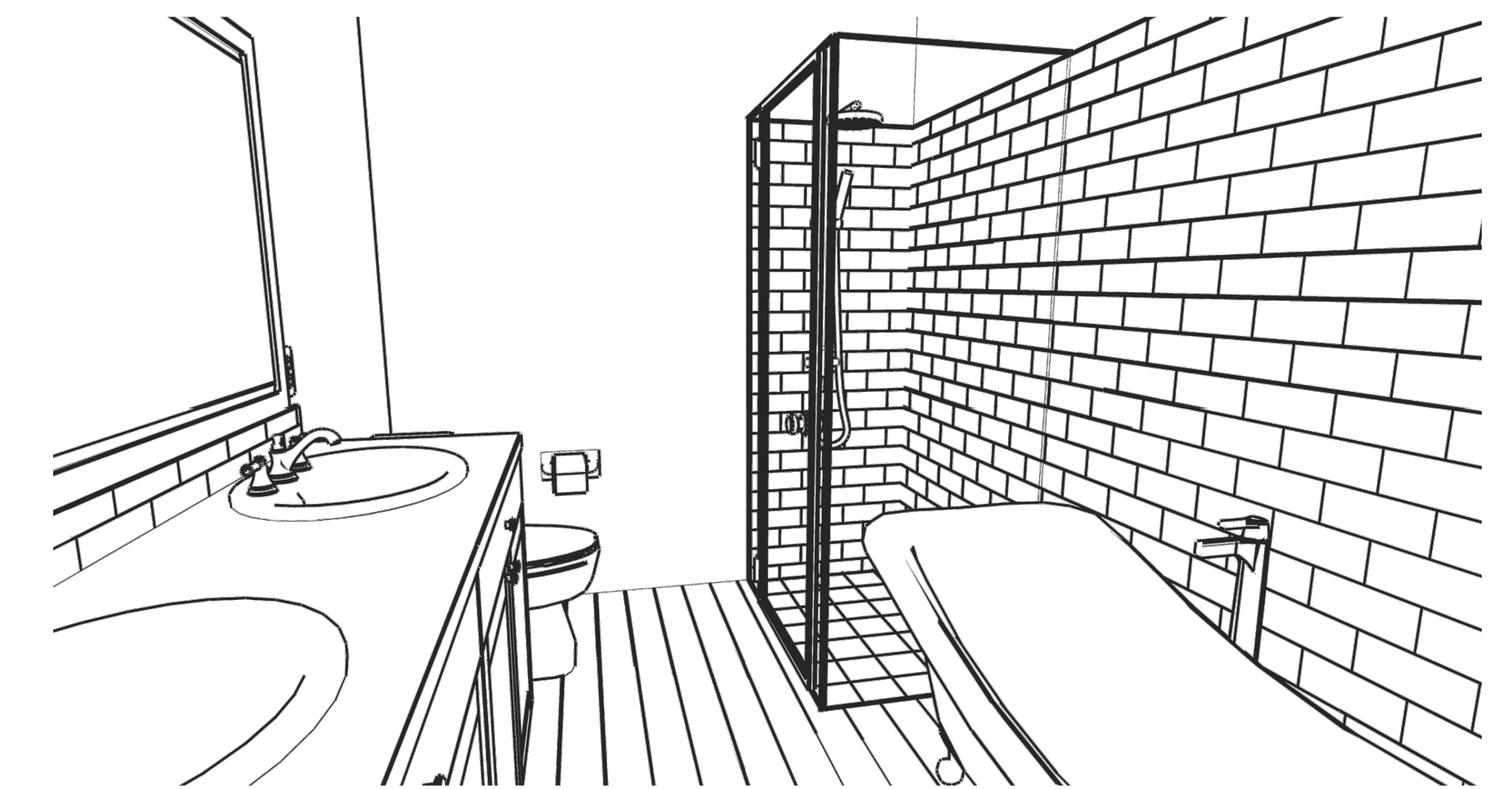
6 BATHROOM ISO. VIEW  
NTS



4 M. BATHROOM INT. ELEVATION  
SCALE: 1/2" = 1'-00"



3 M. BATHROOM INT. ELEVATION  
SCALE: 1/2" = 1'-00"



6 M. BATHROOM ISO. VIEW  
NTS



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Date: Nov. 10, 2021

Scale: 1/2" = 1'-00"

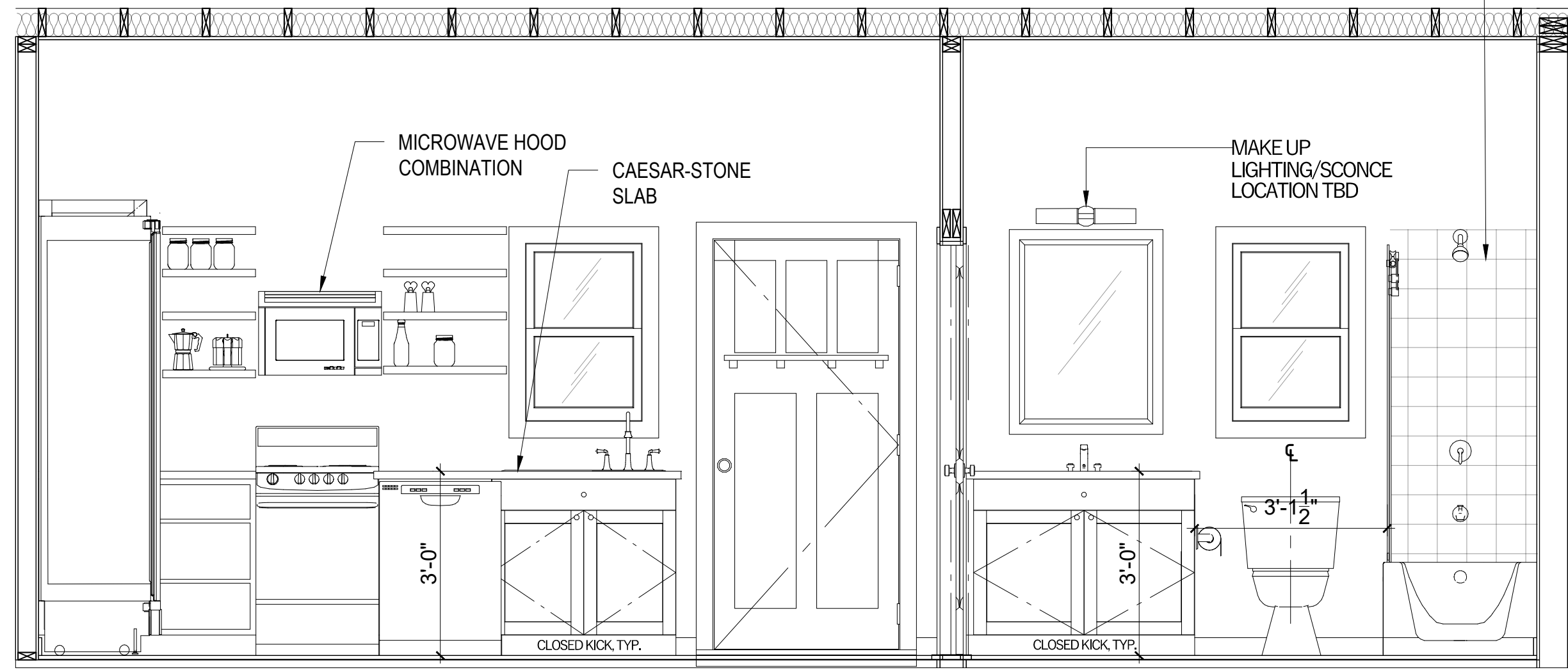
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PROPOSED BATHROOMS INT. ELEVATION

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A-21

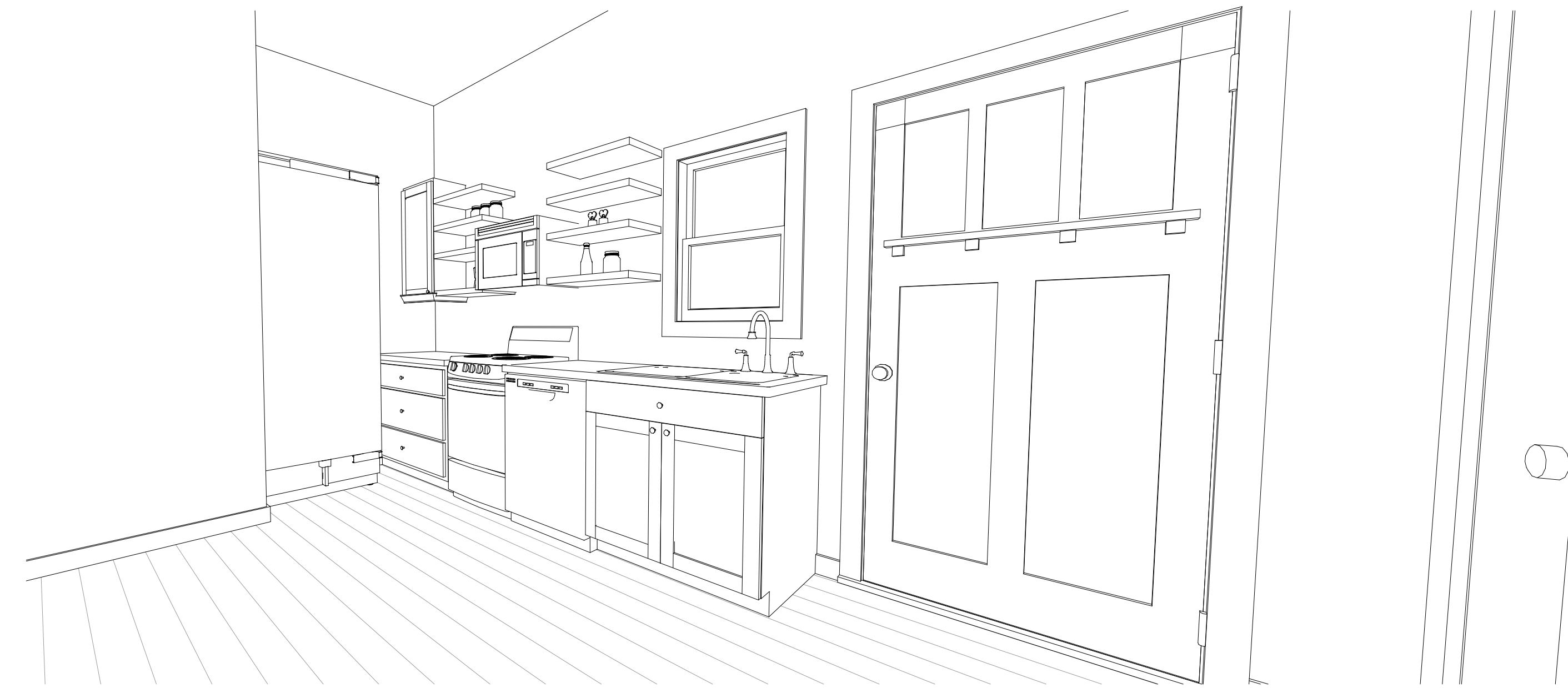
ALL GLAZED WALL TILES IN COMPLIANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE SPECIFICATION ANSI A137.1(1) FOR CERAMIC TILE



1

ADU KITCHEN AND BATH INTE. ELEVATION

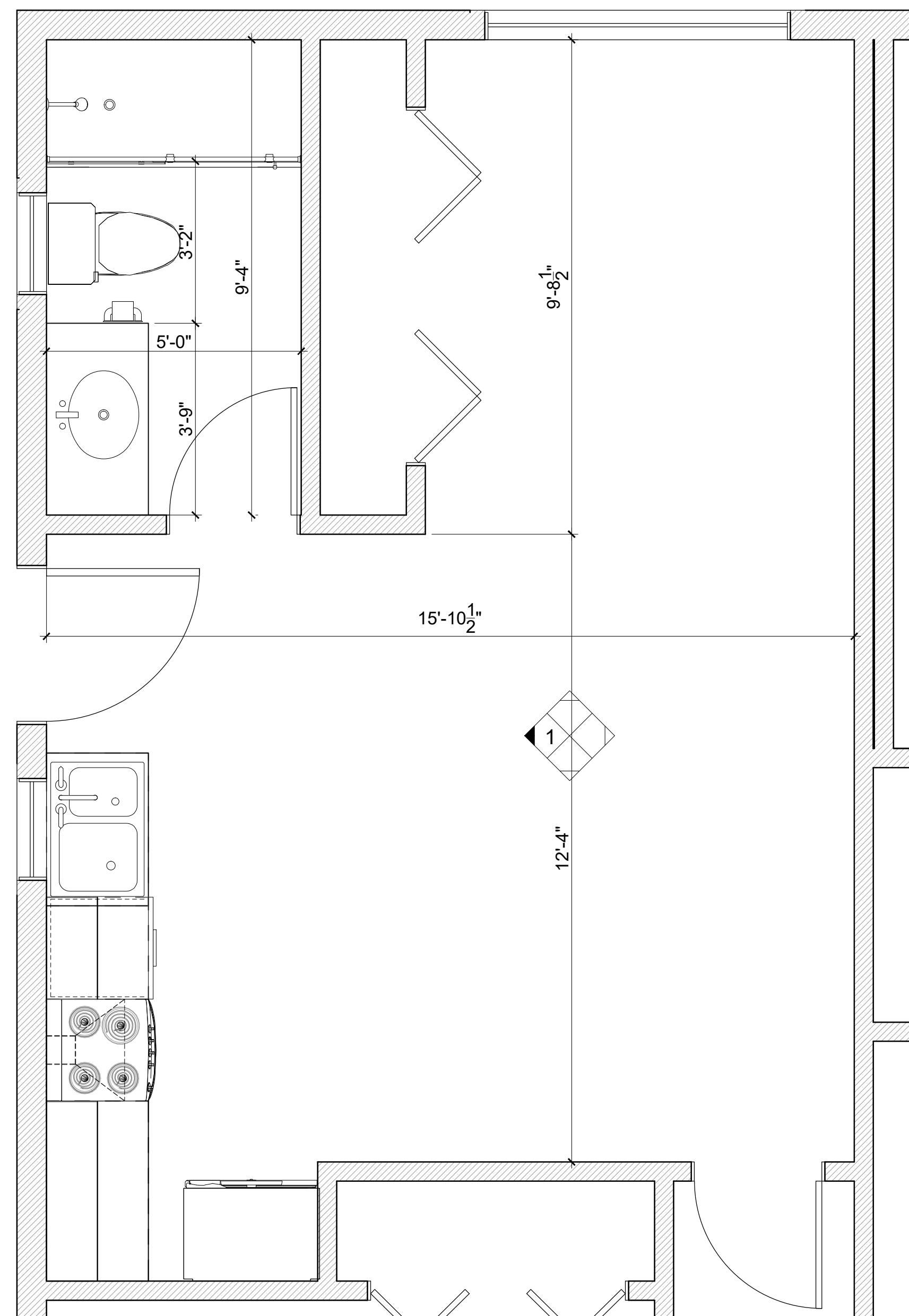
SCALE: 1/2" = 1'-00"



2

ADU KITCHENETTE INTE. ISO. VIEW

SCALE: 1/2" = 1'-00"



3

ADU KITCHENETTE AND BATH ENLARGED FLOOR PLAN

SCALE: 1/2" = 1'-00"



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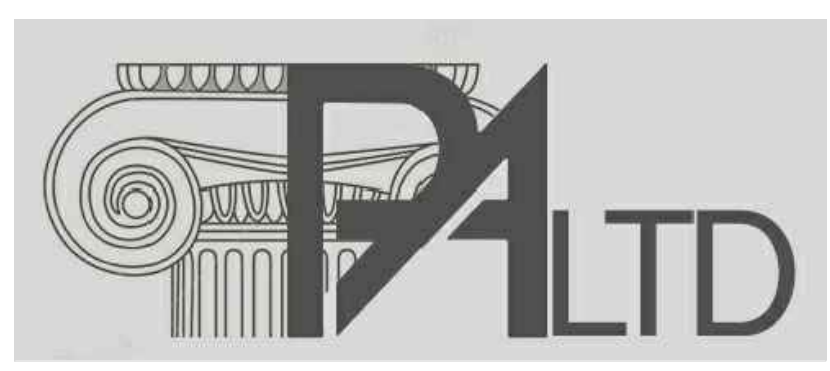
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DRAWING TITLE:

ADU INTERIOR ELEVATION

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Date: Nov. 10, 2021  
 Scale:

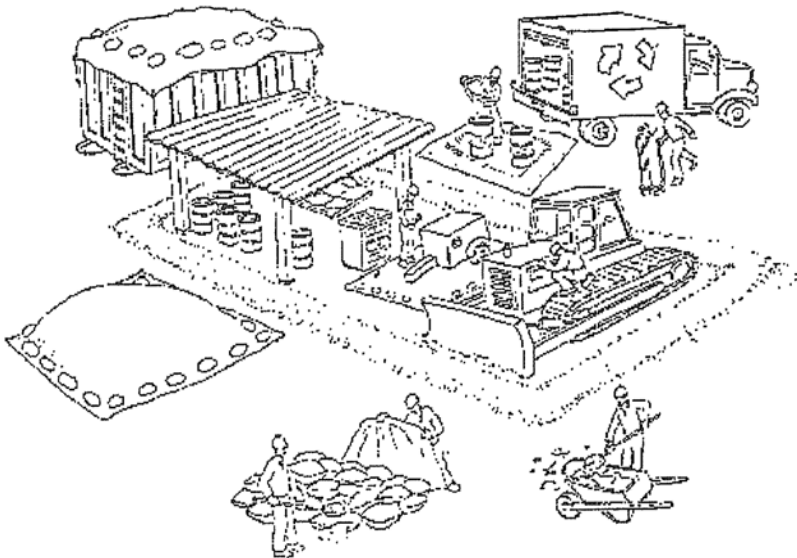
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**A-23**



# Clean Bay Blue Print



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Fremont requirements.

### Materials storage & spill cleanup

- Non-hazardous materials management**
- ✓ Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
  - ✓ Use (but don't overuse) reclaimed water for dust control as needed.
  - ✓ Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
  - ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with **City of Fremont** Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
  - ✓ Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
  - ✓ Cover all dumpsters with a tarp at the end of every work day or during wet weather.

- Hazardous materials management**
- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
  - ✓ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
  - ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
  - ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

- Spill prevention and control**
- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc. ) available at the construction site at all times.
  - ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
  - ✓ Dispose of all containment and cleanup materials properly.
  - ✓ Report any hazardous materials spills immediately! Dial 911

- Construction Entrances and Perimeter**
- ✓ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
  - ✓ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

### Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it will not collect in the street.
- ✓ Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.



### Dewatering operations

- ✓ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

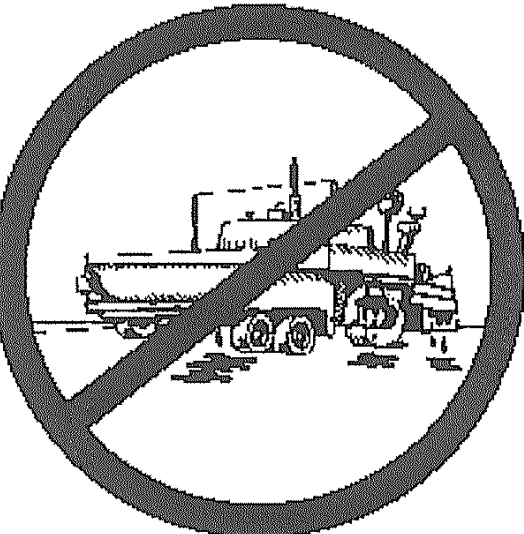


### Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

### Paving/asphalt work

- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



### Concrete, grout, and mortar storage & waste disposal

- ✓ Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.
- ✓ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.



### Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



### Landscape Materials

- ✓ Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✓ Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

NO.	DESCRIPTION	BY	DATE	APPV/D

APPROVED

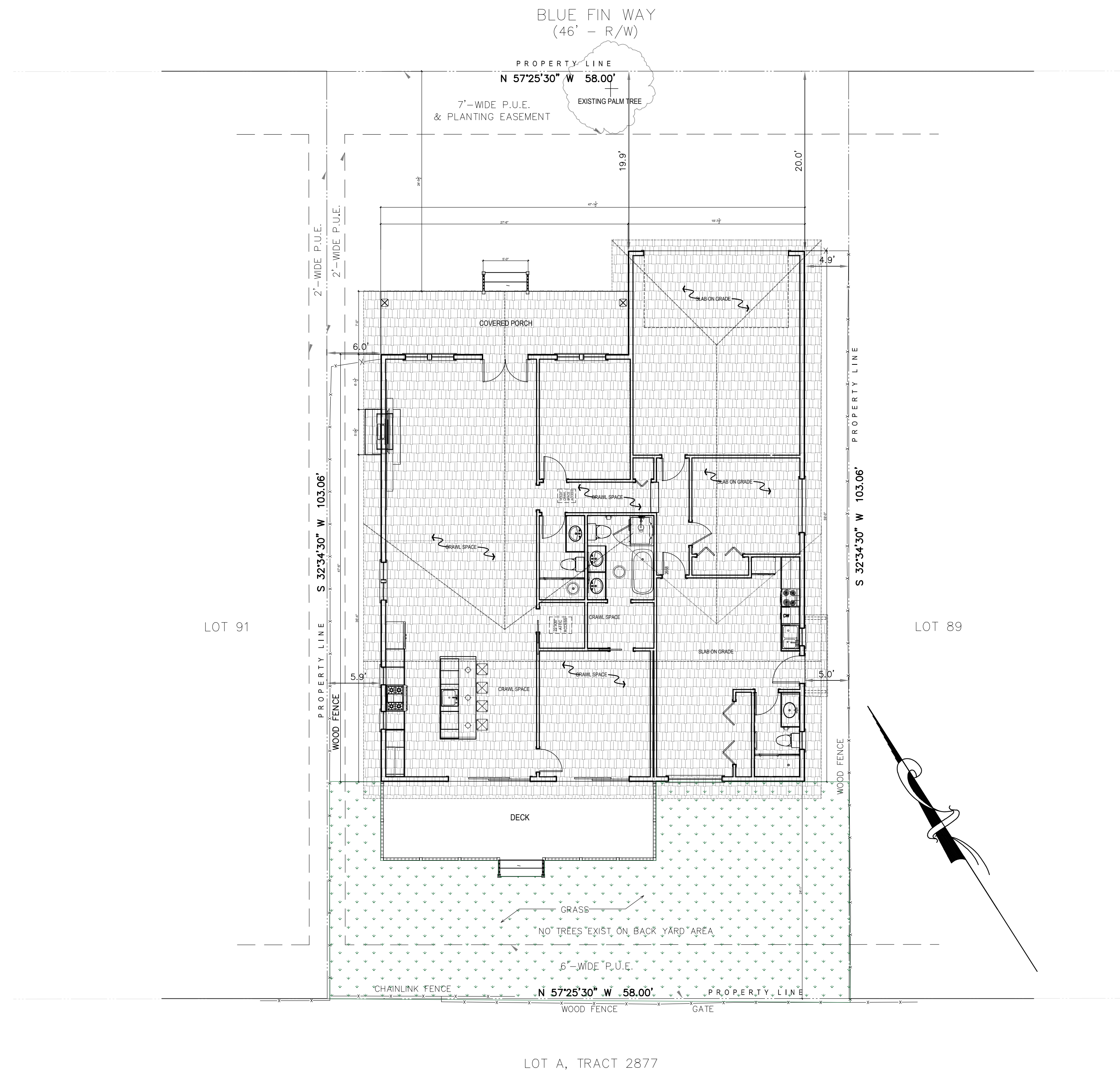
DATE	ADV	DATE

**CLEAN BAY BLUE PRINT**

WORK ORDER NO.

Storm drain polluters may be liable for fines of \$10,000 or more per day!

For references and more detailed information:  
[www.cleanwaterprogram.org](http://www.cleanwaterprogram.org)  
[www.cabmphandbooks.com](http://www.cabmphandbooks.com)



**1** PROPOSED LANDSCAPE PLAN  
SCALE: 1/8" = 1'-00"



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Date: Nov. 10, 2021

Scale: 1/8" = 1'-00"

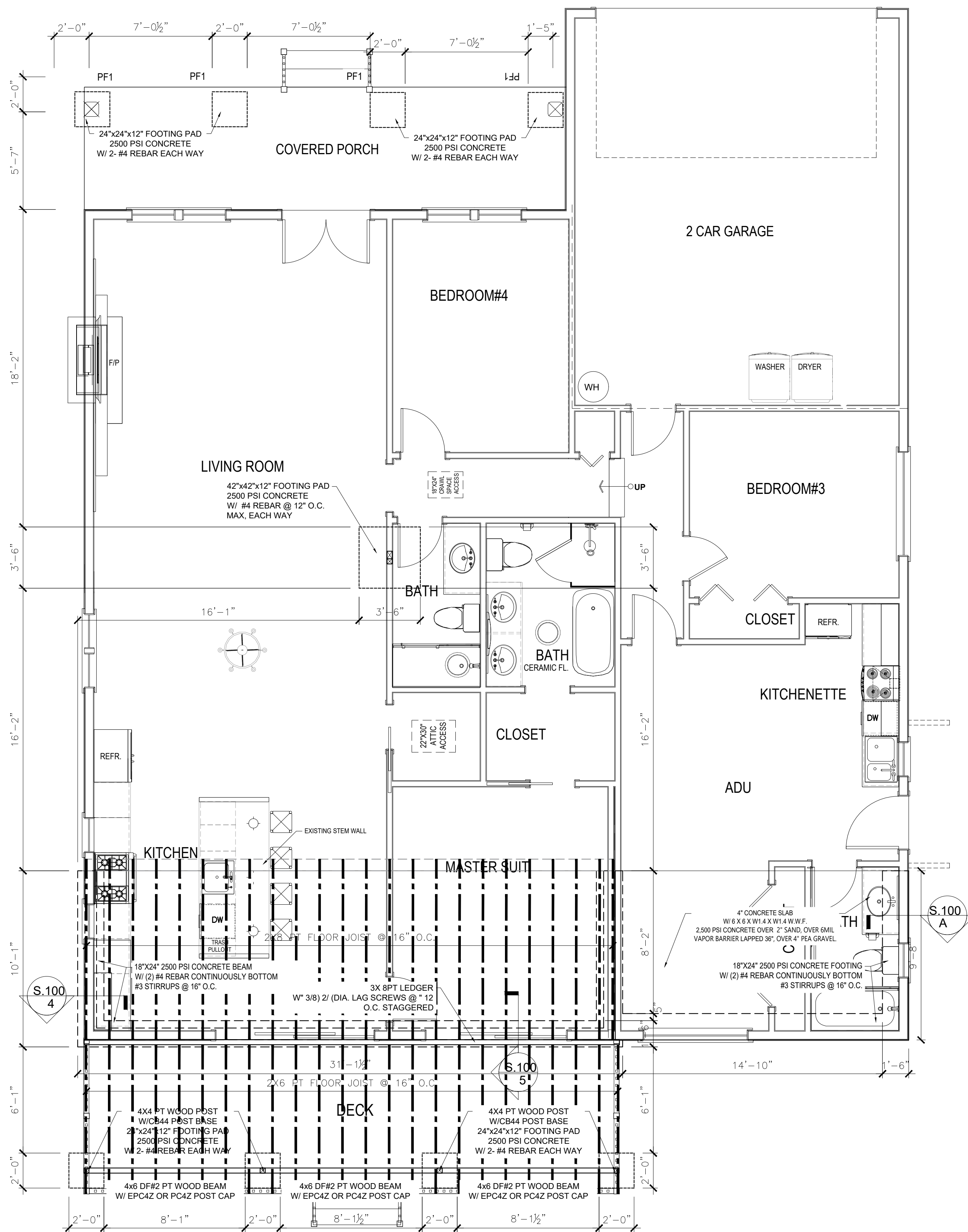
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PROPOSED LANDSCAPE PLAN

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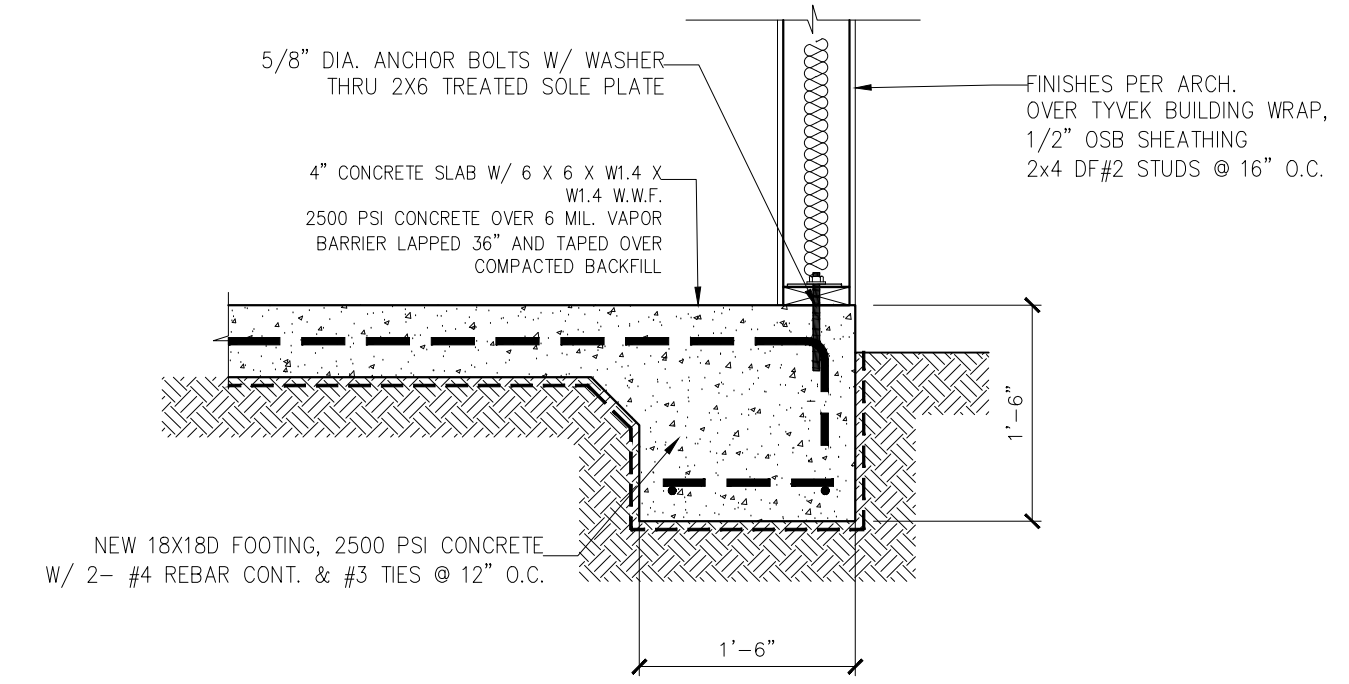
**A-25**



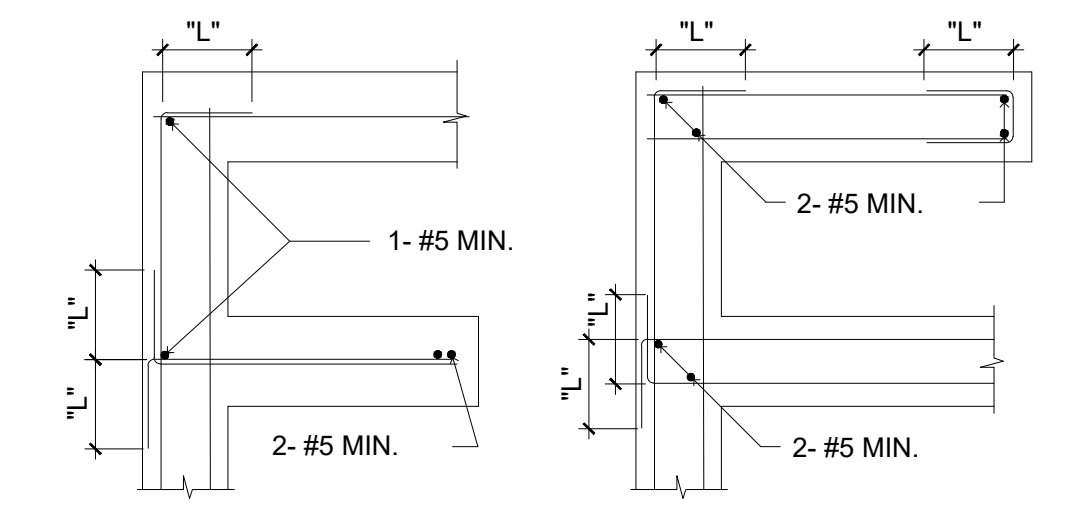


1 FOUNDATION PLAN

Scale: 1/4" = 1'-00"

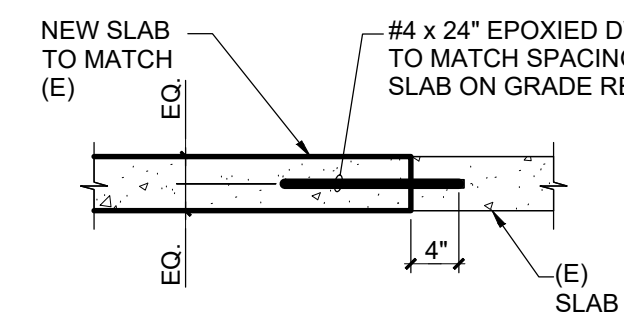


2 SECTION A-A SCALE: 3/4" = 1'-0"

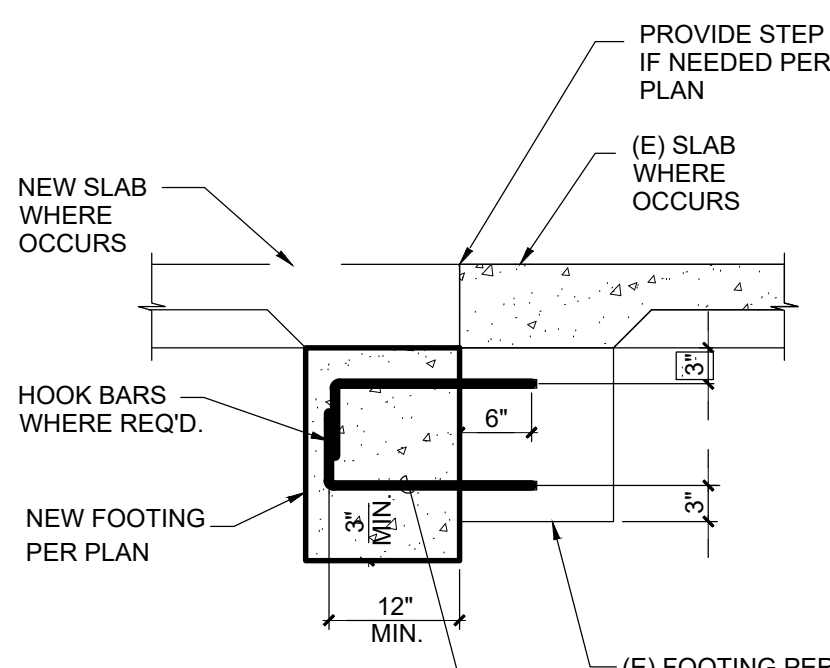


NOTE: "L" = 40 X BAR DIAMETER IN CONC. U.N.O. RETE  
"L" = 50 X BAR DIAMETER IN MASONRY. U.N.O.

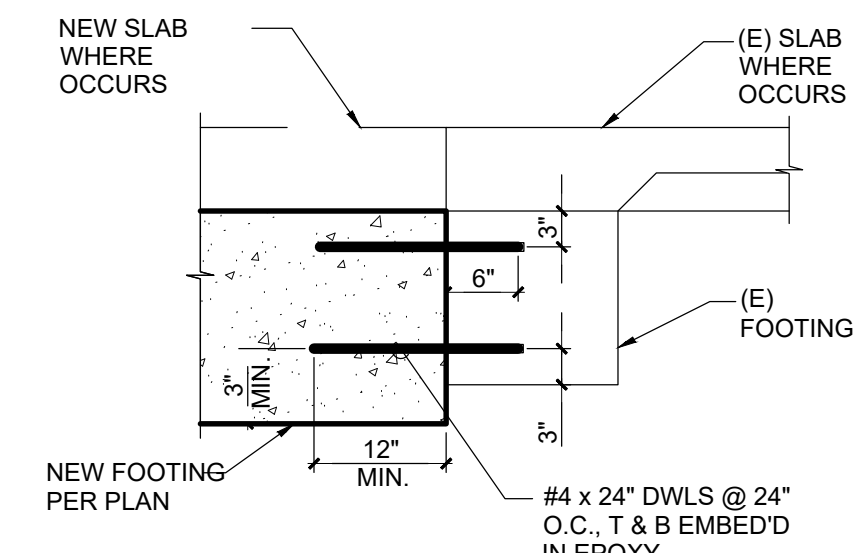
3 TYPICAL WALL & FTG. REINFORCEMENT SCALE: NTS



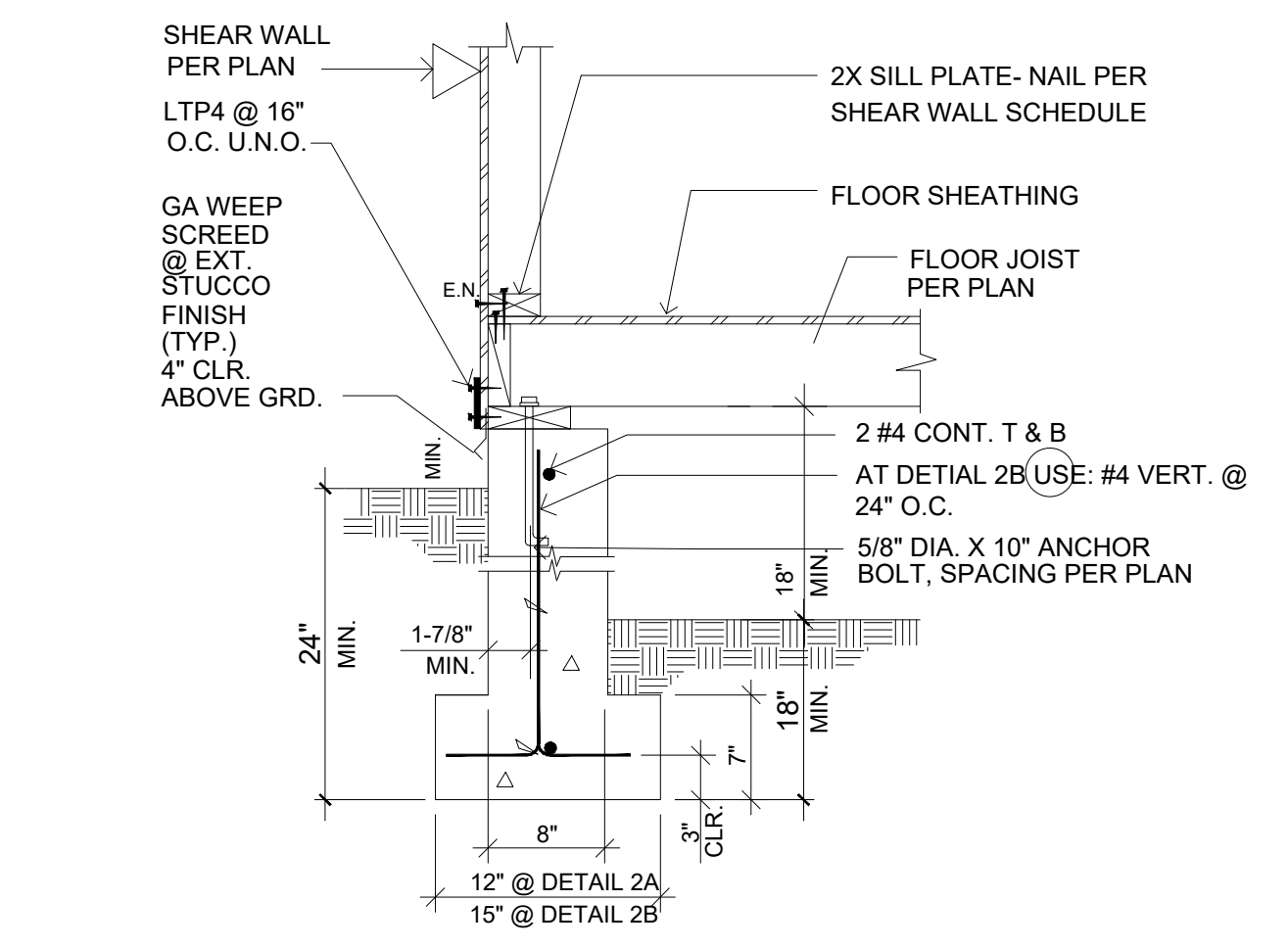
SLAB TIE



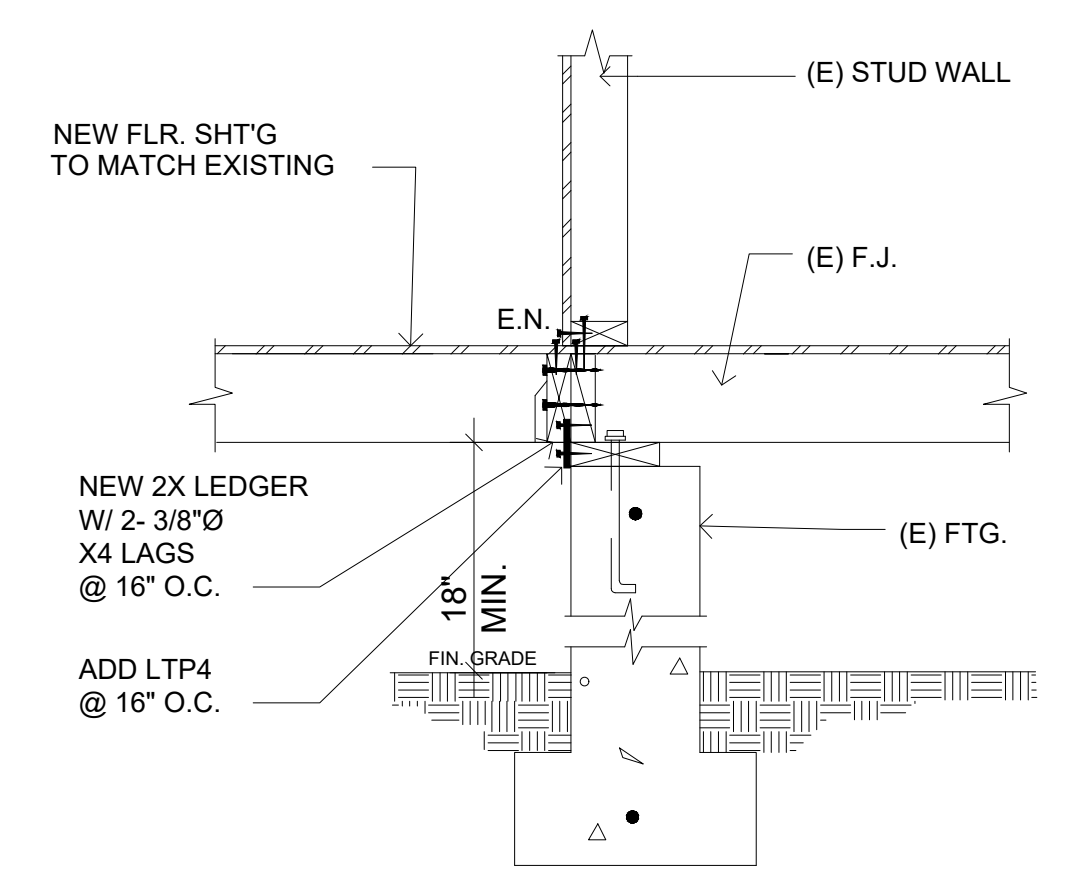
PERPENDICULAR FOOTING TIE



PARALLEL FOOTING TIE



4 EXTERIOR FOOTING SCALE: NTS



5 EXTERIOR FOOTING SCALE: NTS



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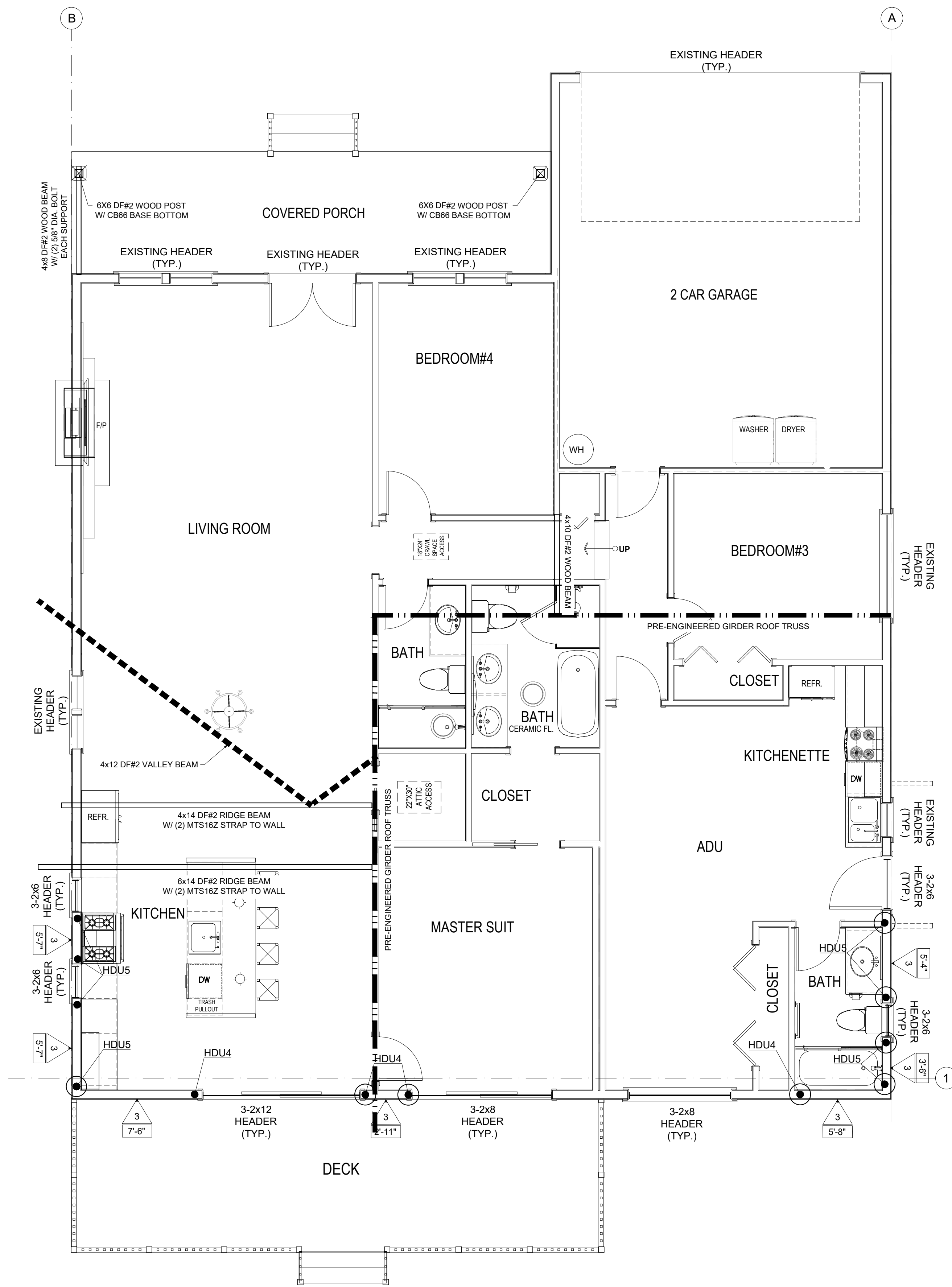
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DRAWING TITLE:  
**FOUNDATION PLAN & DETAILS**

Scale: 1/4" = 1'-00"

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S-2

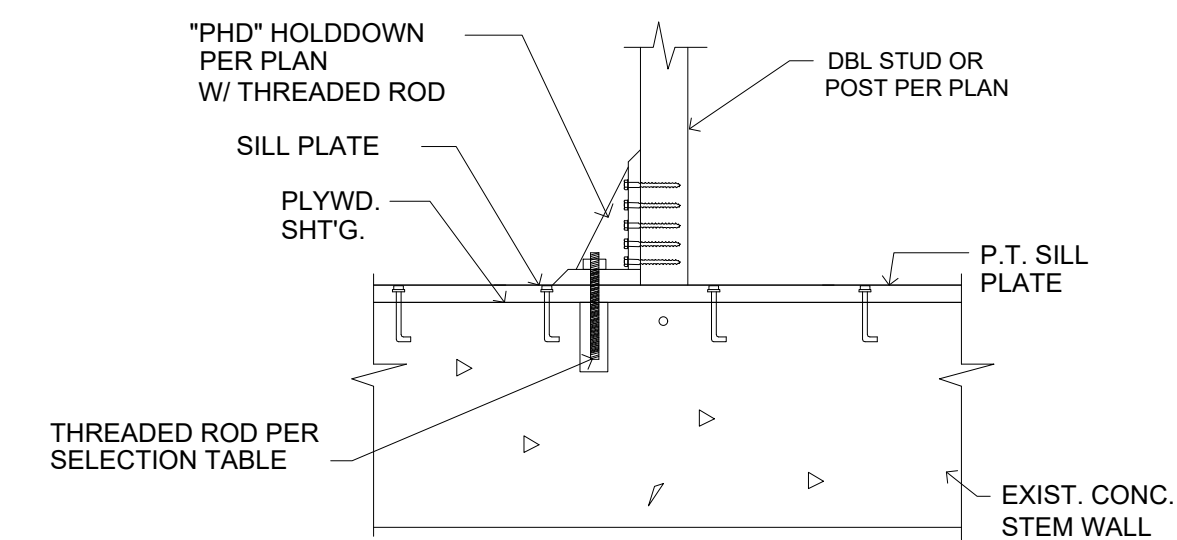
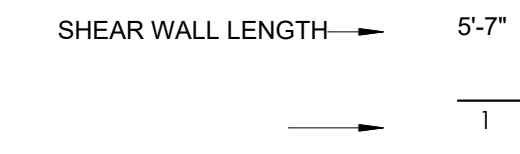


1 SHEAR-WALLS PLAN  
Scale: 1/4" = 1'-00"

NOTES:

- "MINIMUM MEMBER THICKNESS @ PANEL SEAM" REFERS TO FRAMING MEMBERS, INCLUDING PLATE AND BLOCKING, WHICH RECEIVE EDGE NAILING FROM ADJACENT PANELS.
- 3x PLATES: USE 3x PLATES 5/8" DIAMETER ANCHOR BOLTS & 3"x3"x0.225" PLATE WASHERS AT ALL SHEAR WALL LOCATIONS.
- 1P4 FRAMING CLIPS: 1P4 CLIPS MAY BE USED IN PLACE OF A35 CLIPS SHOWN IN SCHEDULE WERE LOCATION OF RIM OR BLOCKS ABOVE DOUBLE TOP PLATE ALLOWS. USE ONE 1P4 FOR EACH A35 CLIP.
- SHEAR WALLS SHALL NOT BE OFFSET MORE THAN 4'-0" FROM EACH OTHER.
- SHEAR PANELS TYPES SHALL NOT BE COMBINED IN THE SAME LINE OF RESISTANCE.
- WALL STUDS SHALL BE 2X MIN @16" O.C.
- 10d NAILS SHALL BE PLACED NOT LESS THAN 3/8" FROM PANEL EDGES.
- SPICE TOP PLATES WITH ST6236, U.N.O.
- 3"x3"x1/4" PLATE WASHERS, IN LIEU OF CUT WASHERS, SHALL BE PROVIDED FOR ALL PLYWOOD SHEAR WALL SILL PLATE ANCHOR BOLTS AND HOLD DOWNS.
- BOLT HOLES THROUGH ANY HOLD DOWN POST SHALL BE OVERSIZED BY 1/16" AND SHALL BE VERIFIED BY INSPECTOR.
- MUDSILL TO BE SILL GRADE REDWOOD OR SHALL BE PROTECTED WITH SODIUM BORATE. IF ANY OTHER PRESERVATIVE IS USED, PROTECT ALL FASTENERS IN THESE MATERIALS WITH 1.85 oz. OF ZINC GALVANIZED PER ASTM A653.
- 8d = .131" DIA. X 2.5" COMMON NAIL
- 10d = .148" DIA X 3" COMMON NAIL

SHEAR WALL SYMBOL

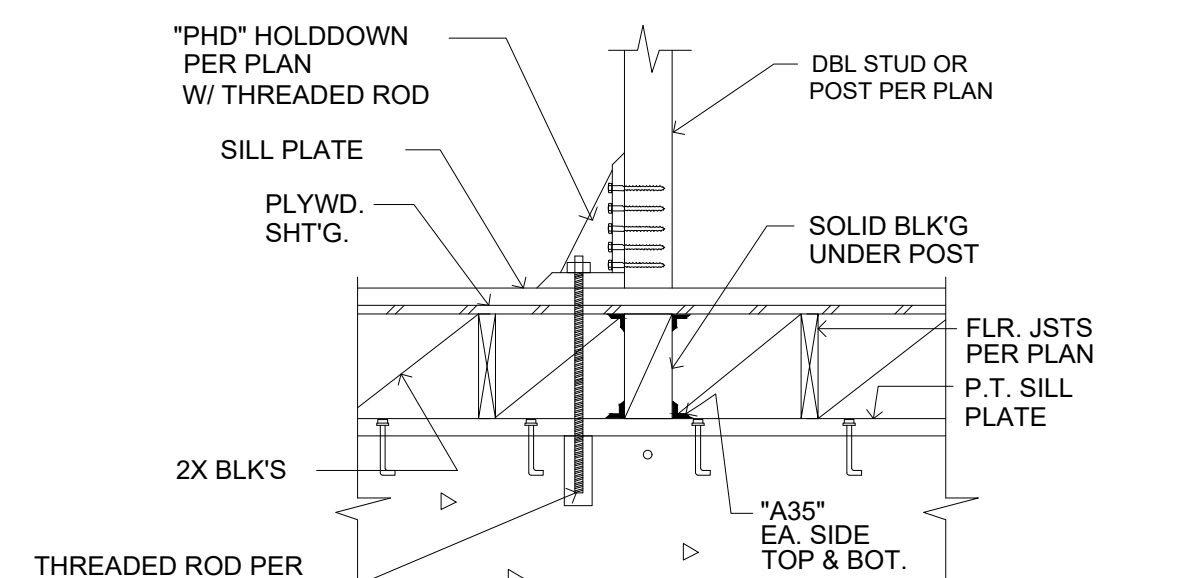


NOTES:

- CONT. INSPECTION REQ'D. DRILL HOLES PER MANUF. SPECS.
- A307 THREADED RODS W/ SIMPSON SET XP ICC ESR-2508
- ALL BOLTS SHALL BE HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL

ROD DIA.	EMBED DEPTH	EDGE DIST.	LOAD CAP.
5/8" Ø	10	1-3/4"	-
7/8" Ø	15	1-3/4"	1600

3 TYP. HOLD DOWN INSTALLATION DETAILS  
SCALE: NTS

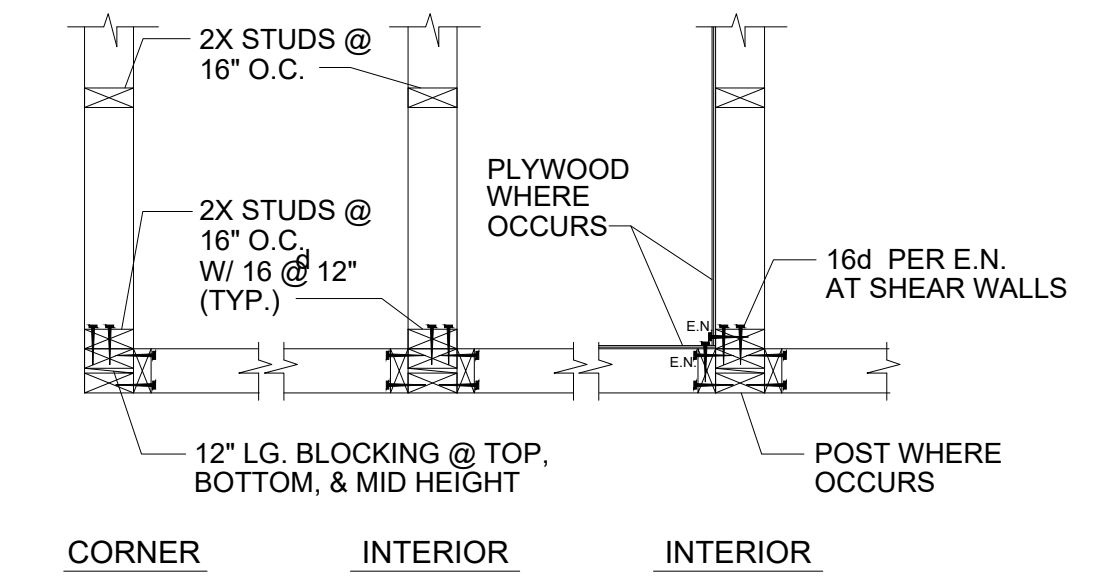


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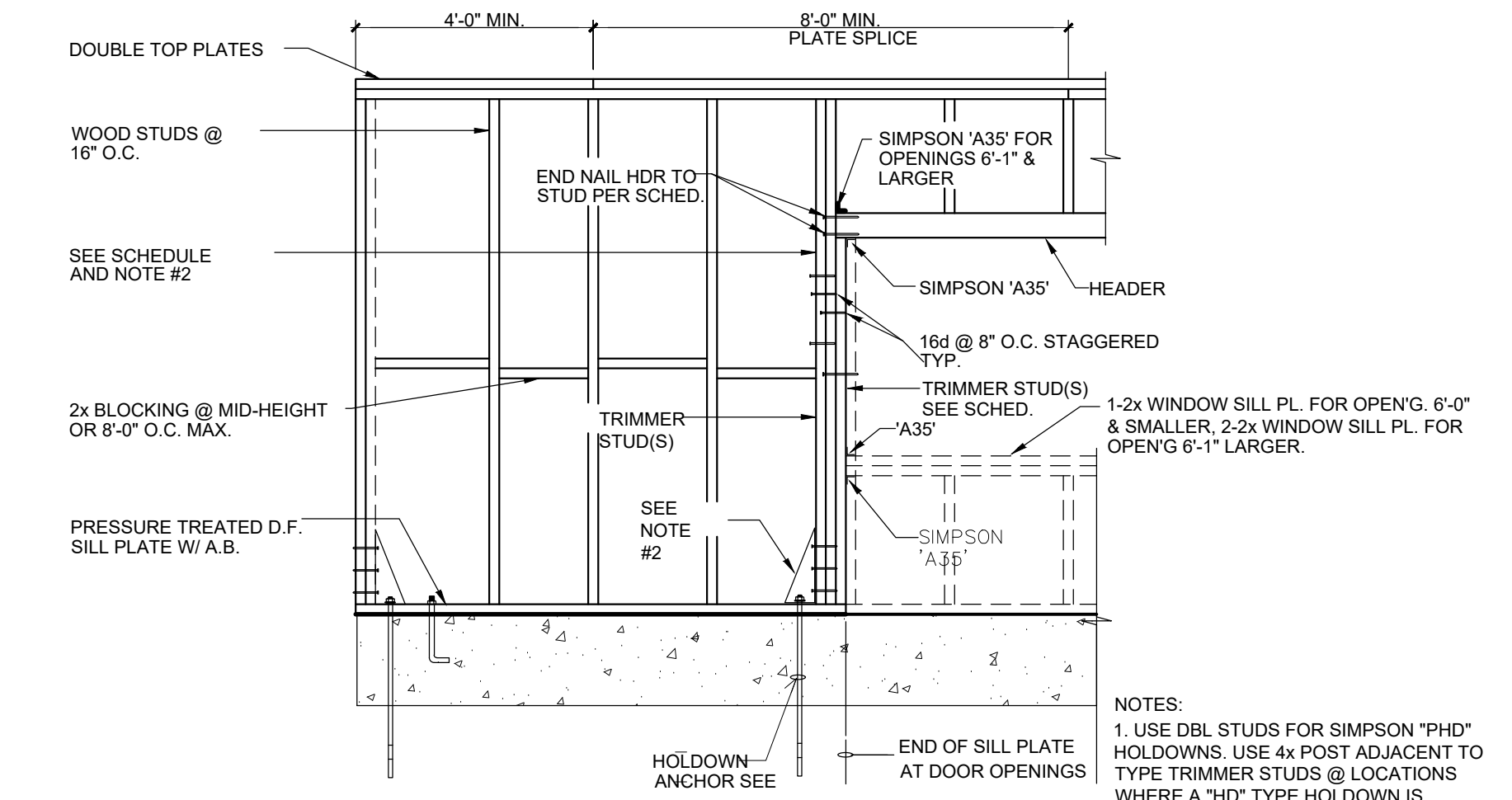
- CONT. INSPECTION REQ'D. DRILL HOLES PER MANUF. SPECS.
- A307 THREADED RODS W/ SIMPSON SET XP ICC ESR-2508
- ALL BOLTS SHALL BE HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL

ROD DIA.	EMBED DEPTH	EDGE DIST.	LOAD CAP.
5/8" Ø	10	1-3/4"	-
7/8" Ø	15	1-3/4"	1600

6 SHEAR TRANSFER  
SCALE: NTS

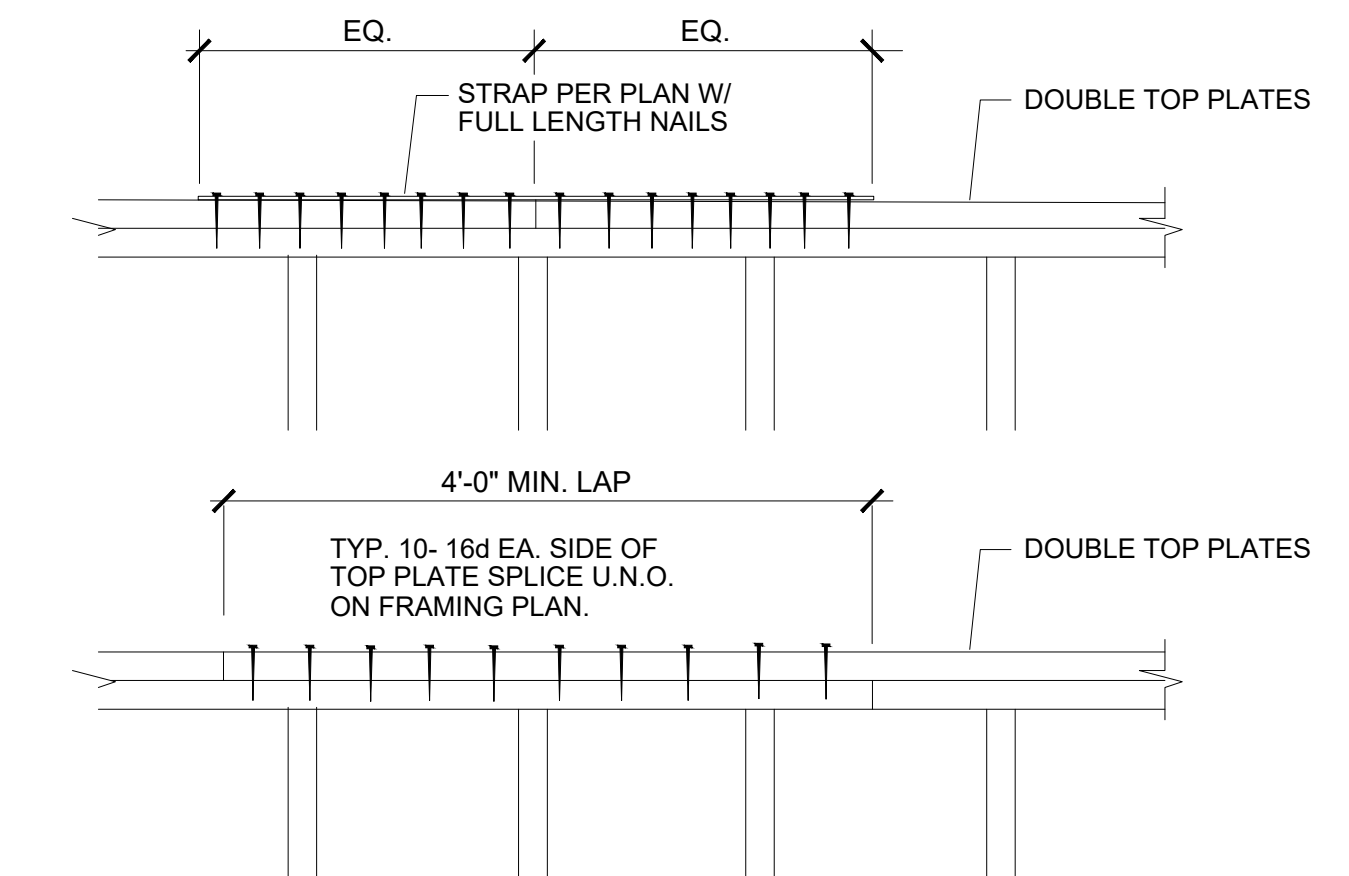


2 TYPICAL STUD WALL INTERSECTION  
SCALE: 1" = 1'-0"



- NOTES:
- USE DBL STUDS FOR SIMPSON "PHD" HOLD-DOWNS. USE 4x POST ADJACENT TO TYPE TRIMMER STUDS @ LOCATIONS WHERE A "HD" TYPE HOLD-DOWN IS SPECIFIED. EDGE WALL SHEATHING TO POST, KING AND TRIMMER STUDS.

4 WALL FRAMING DETAIL  
SCALE: NTS



5 TOP PLATE SPLICE DETAIL  
SCALE: NTS



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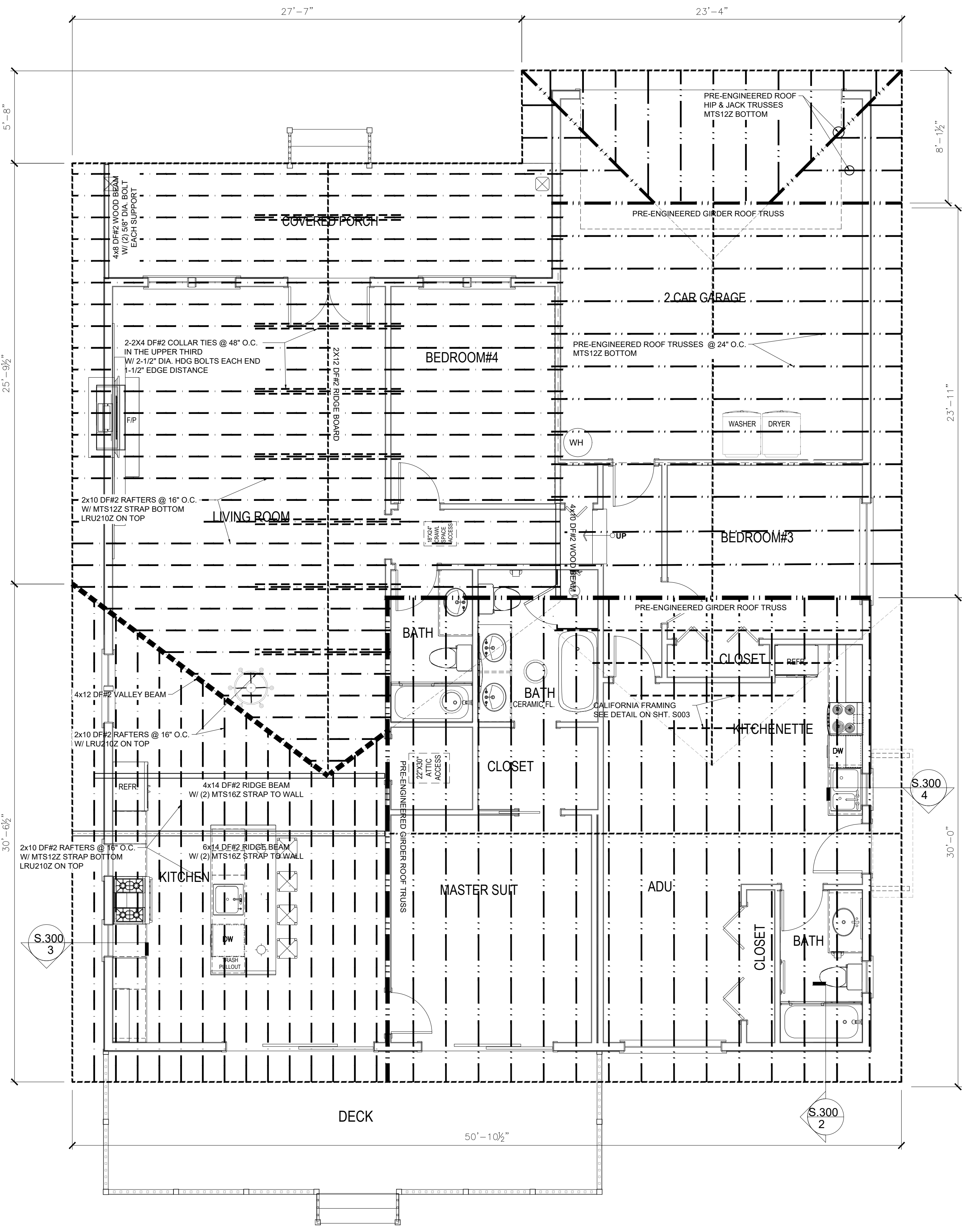


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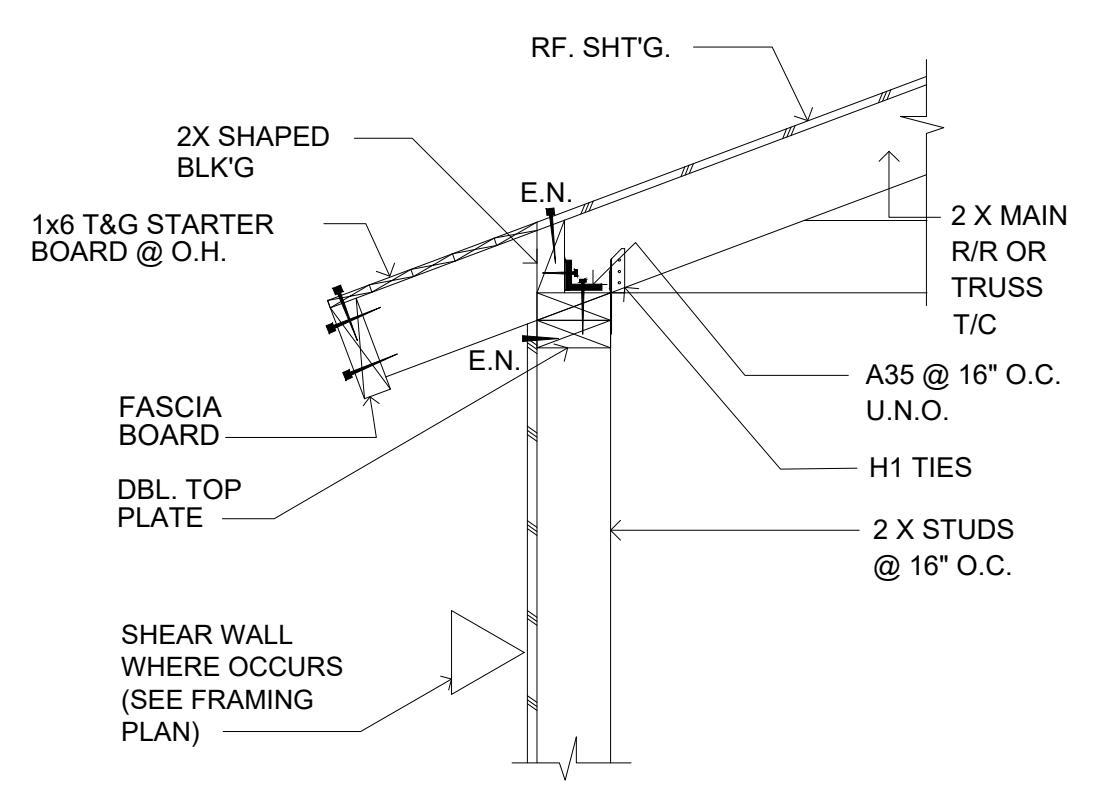
DRAWING TITLE:  
**SHEAR-WALLS PLAN**

Scale: 1/4" = 1'-00"

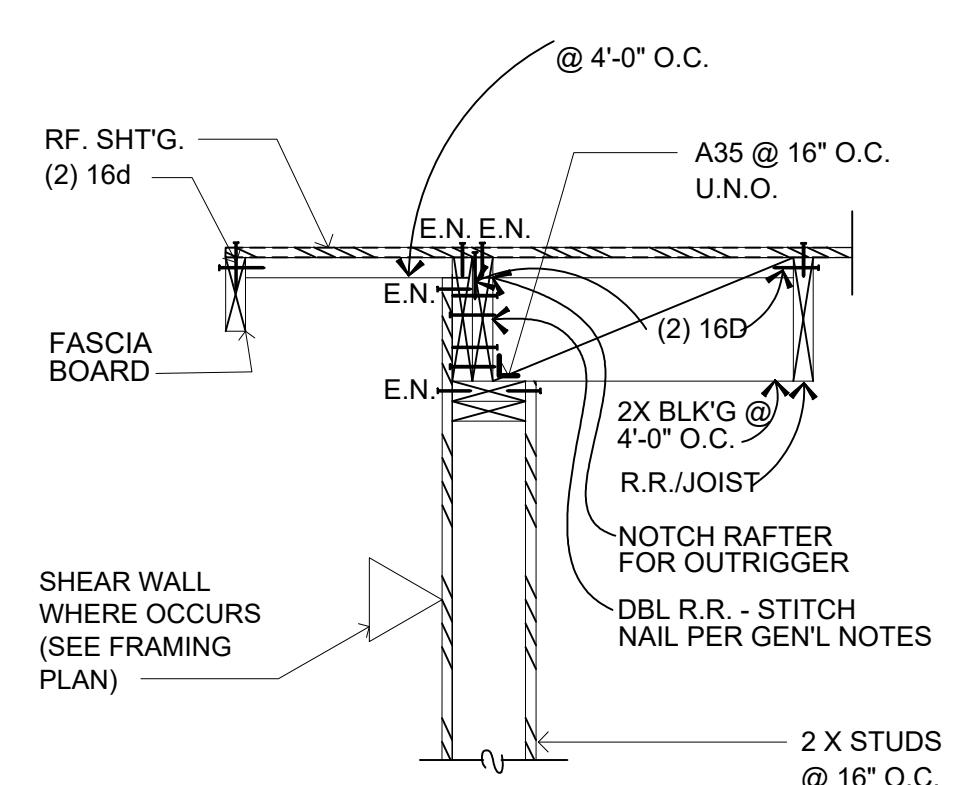
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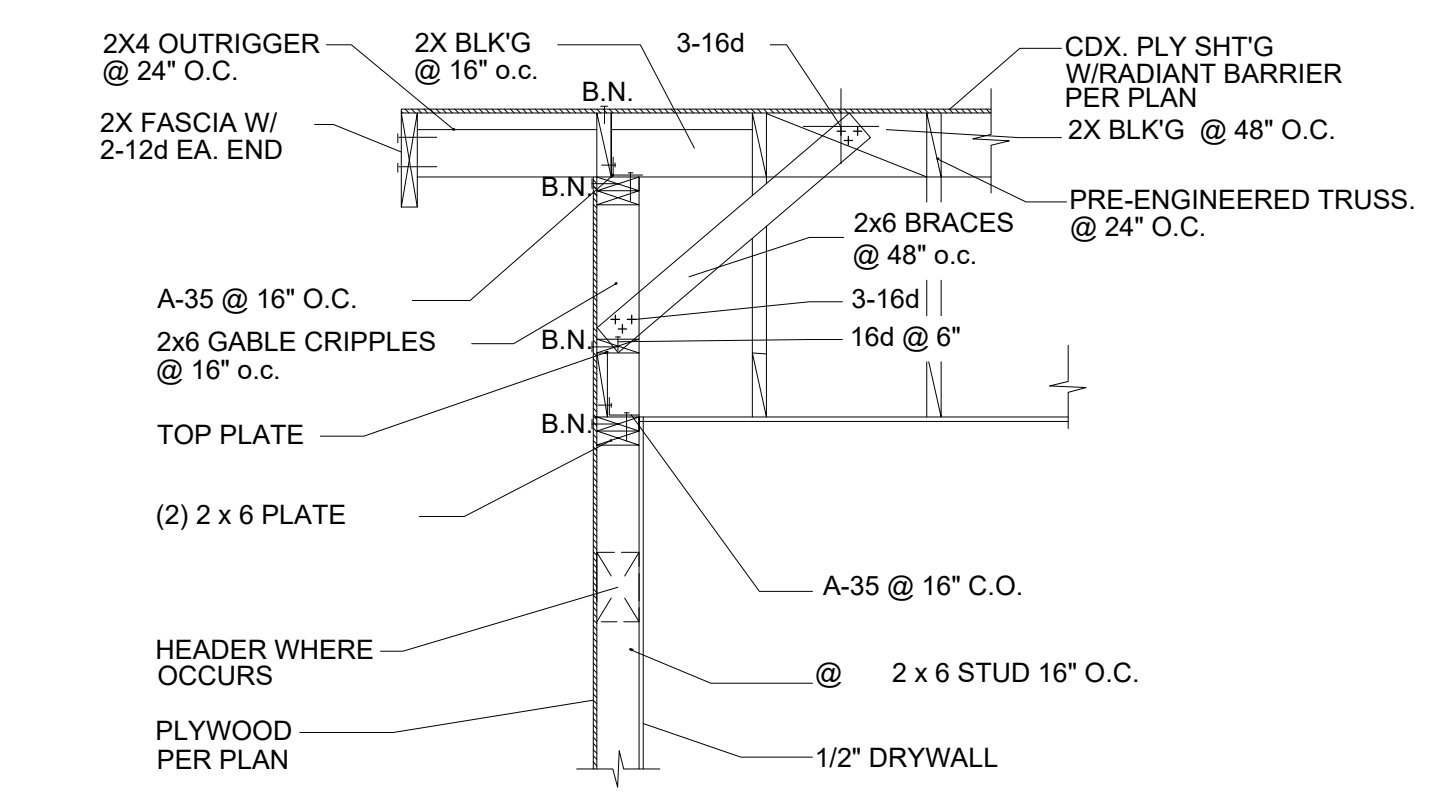
1 ROOF FRAMING PLAN  
Scale: 1/4" = 1'-0"



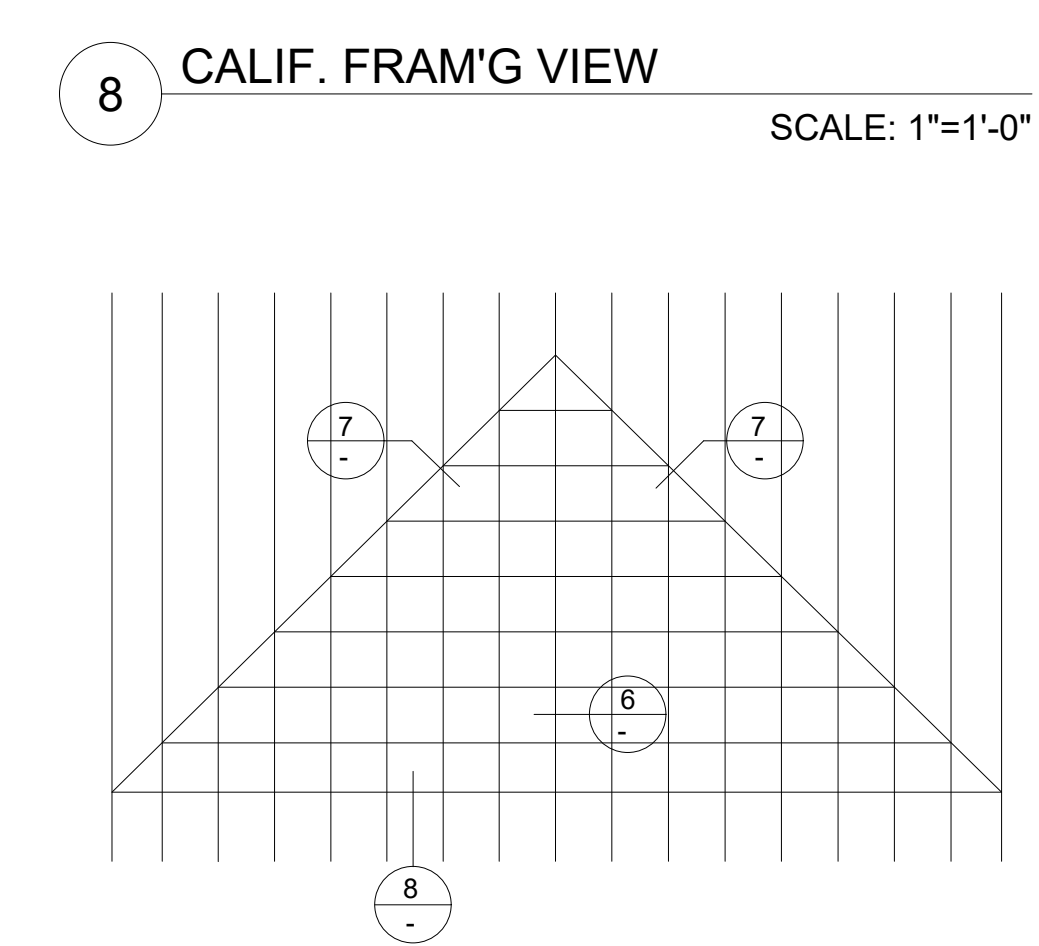
2 SHEAR TRANSFER SECTION B  
SCALE: 1"=1'-0"



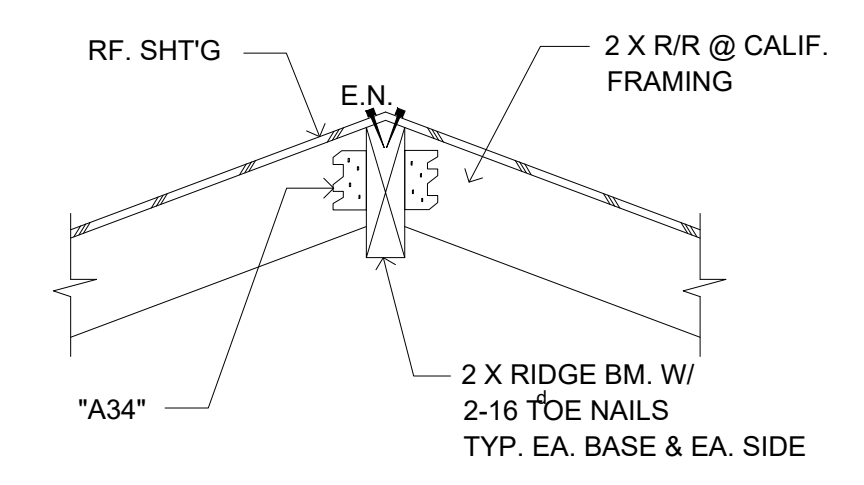
3 ROOF FRAMING @ RAKE WALL  
SCALE: 1"=1'-0"



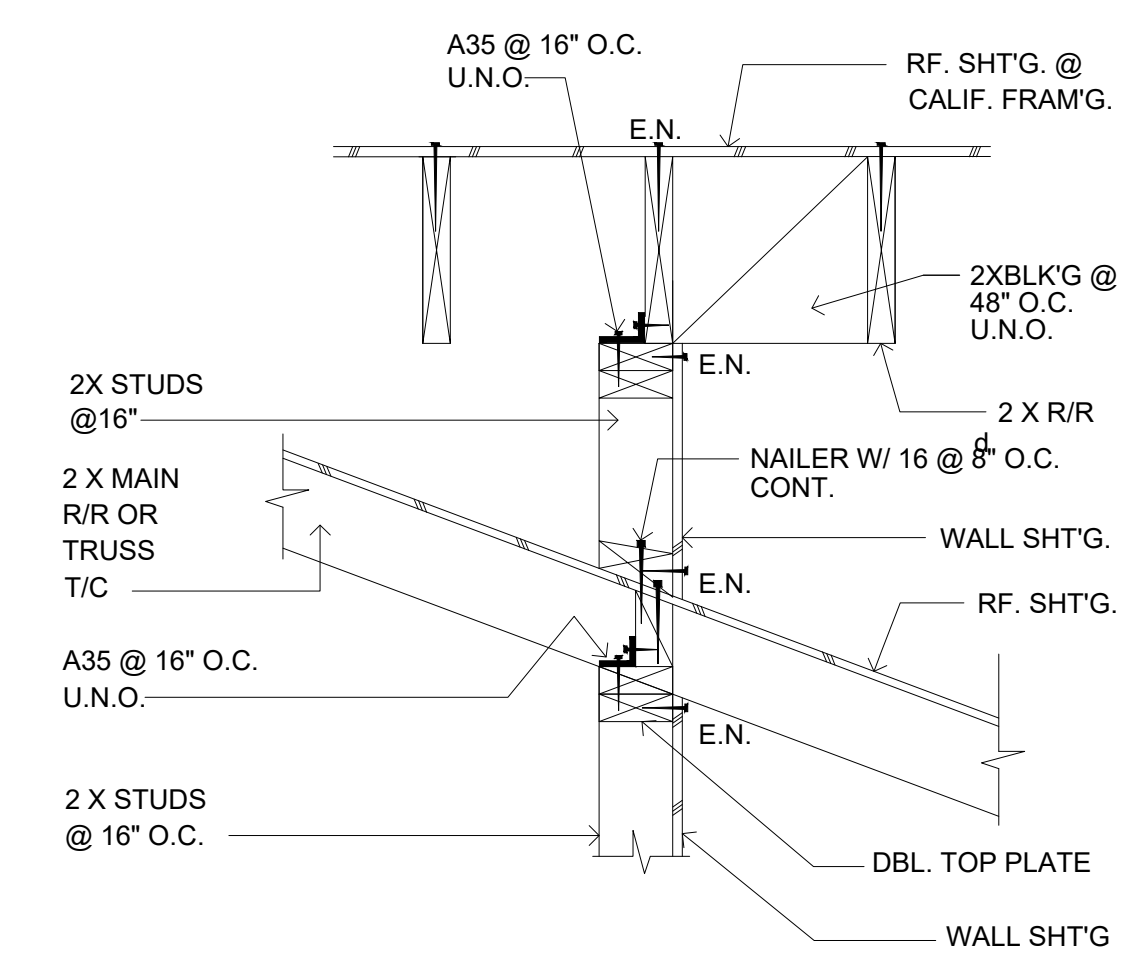
4 SHEAR TRANSFER SECTION C  
SCALE: 1"=1'-0"



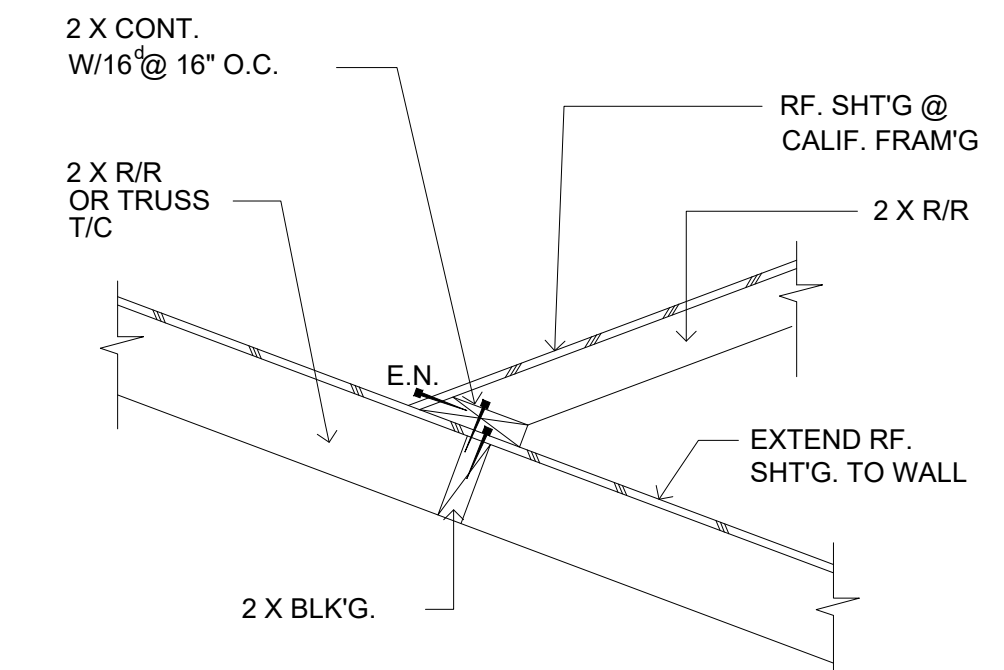
8 CALIF. FRAM'G VIEW  
SCALE: 1"=1'-0"



6 CALIF. FRAM'G  
SCALE: 1"=1'-0"



8 CALIF. FRAM'G VIEW  
SCALE: 1"=1'-0"



7 CALIF. FRAM'G  
SCALE: 1"=1'-0"



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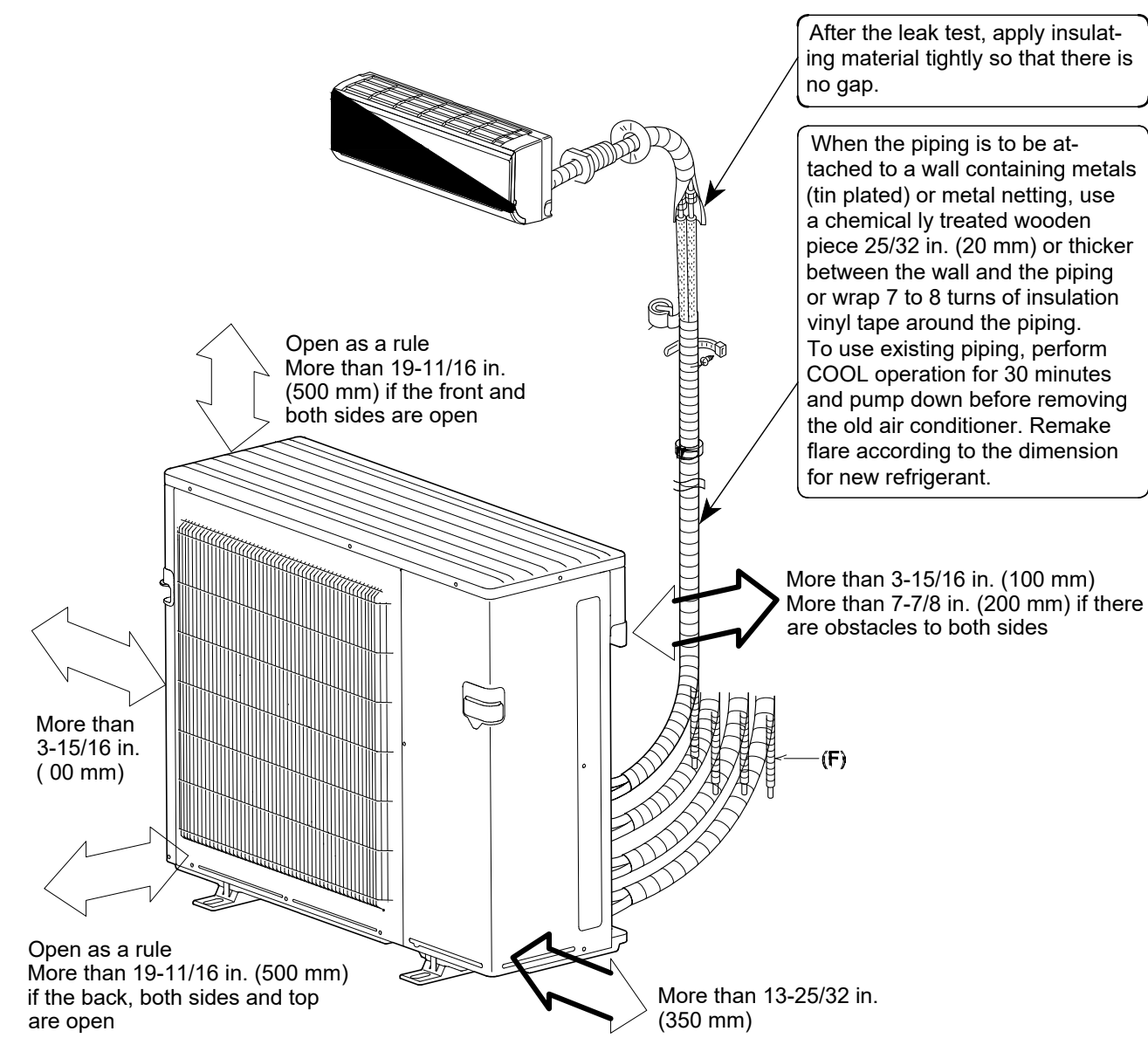


Date: June 3, 2021  
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**ROOF FRAMING PLAN**

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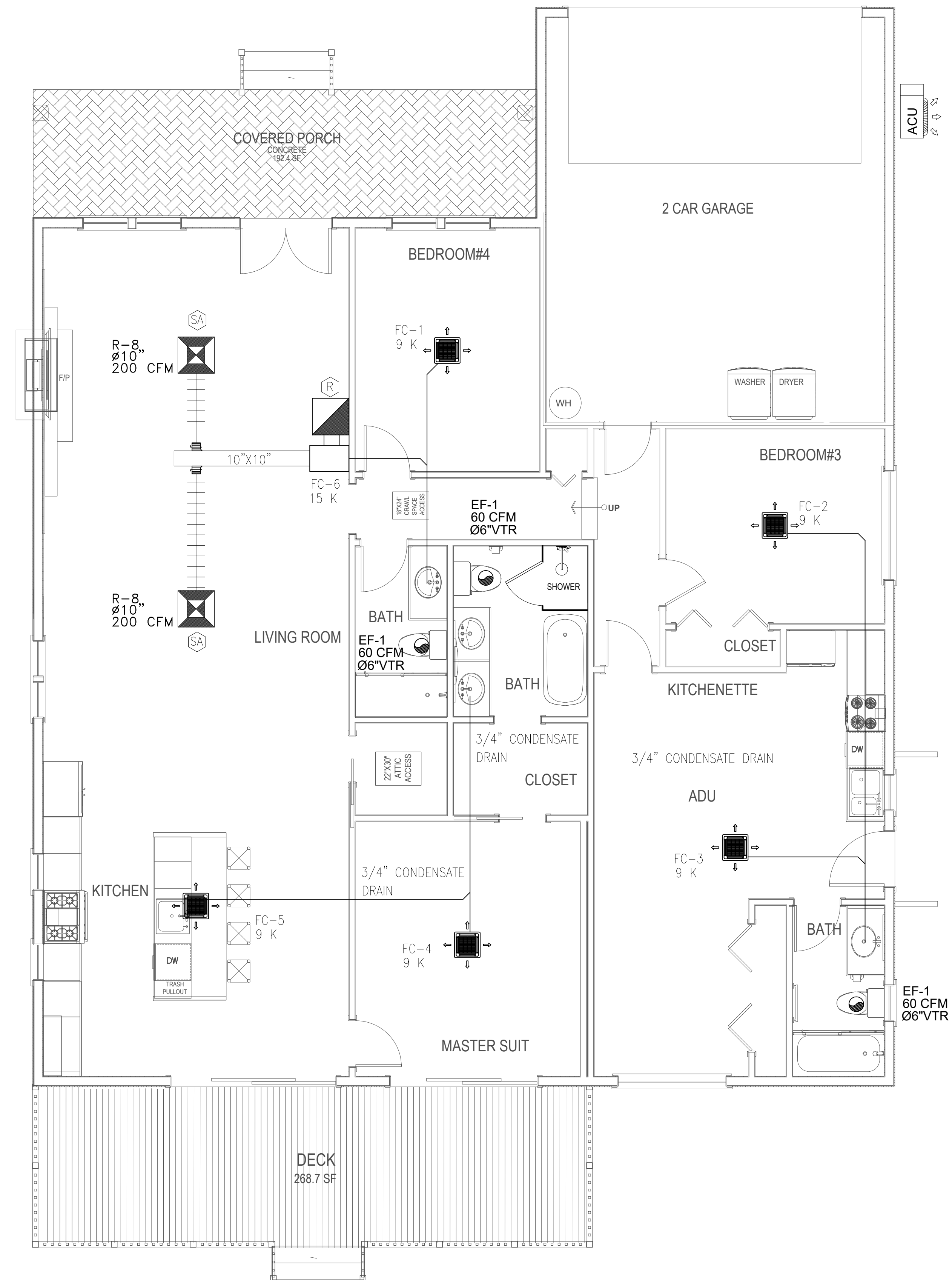
S-4





**BASIC MECHANICAL REQUIREMENTS:**

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOLLOWING:
  - A. LATEST EDITION AND AMENDMENTS OF THE APPLICABLE STATE AND LOCAL CODES.
  - B. LATEST (OR APPLICABLE) EDITION OF INTERNATIONAL MECHANICAL CODE.
  - C. LATEST (OR APPLICABLE) EDITION OF NFPA CODE 90A.
2. FURNISH AND INSTALL ALL LABOR, MATERIAL, AND EQUIPMENT AND SERVICES NECESSARY FOR COMPLETE AND SAFE INSTALLATION OF THE MECHANICAL SYSTEM INDICATED ON THE DRAWINGS AND NOTED IN THE SPECIFICATIONS HEREINAFTER. MECHANICAL DRAWINGS ARE CONSIDERED DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF WORK AND SYSTEMS. REFER TO ARCHITECTURAL DRAWINGS TO VERIFY LOCATION OF DEVICES, EQUIPMENT, ETC. CHECK DRAWINGS OF OTHER TRADES TO VERIFY EXACT SPACE CONDITIONS OF DUCTWORK AND EQUIPMENT. MATERIALS SHALL BE NEW, FREE FROM DEFECTS AND LISTED BY ARI OR UL WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH EXISTING CONDITIONS. CONTRACTOR SHALL VISIT SITE AND EXAMINE EXISTING CONDITIONS PRIOR TO BID.
3. SUBMIT SIX (6) COPIES OF SHOP DRAWINGS TO OWNER OR ARCHITECT FOR EACH PIECE OF EQUIPMENT TO INCLUDE RTU'S, ASSOCIATED PIPING, HEATERS, EQUIPMENT, DIFFUSERS, INSULATION, FANS, CONTROLS AND DUCTWORK. OBTAIN APPROVAL BEFORE EQUIPMENT IS ORDERED, BUILT, OR INSTALLED.



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Date: June 3, 2021

DRAWING TITLE:

**MECHANICAL PLAN**

Scale:  
 1/4" = 1' - 0"

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**M-2**



## GENERAL NOTES

1. MECHANICAL CONTRACTOR SHALL EXAMINE ALL OTHER SPECIFICATIONS, DRAWINGS AND ALL FEATURES OF BUILDING CONSTRUCTION WHICH MAY AFFECT HIS WORK AND SHALL BE GOVERNED BY THESE AND OTHER SPECIFICATIONS, INCLUDING THE GENERAL CONDITIONS AND PARTICULAR INSTRUCTIONS TO ALL BIDDER AND SUPPLIERS
2. ALL WORK SHALL BE EXECUTED AND INSPECTED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND/OR STATE CODES, LAWS, ORDINANCES, RULES AND REGULATIONS APPLICABLE TO THIS PARTICULAR CLASS OF WORK, AND EACH CONTRACTOR SHALL INCLUDE IN HIS PRICE ALL APPLICABLE SERVICE CHARGES, FEES, PERMITS, TAXES, AND OTHER SIMILAR COSTS IN CONNECTION THEREWITH
3. PRIOR TO FABRICATION OF DUCTWORK, THE MECHANICAL CONTRACTOR SHALL EXAMINE AND VERIFY ALL CONDITIONS ABOVE AND BELOW THE CEILING WHICH MAY INTERFERE WITH THE DUCT SYSTEM AND NOTIFY THE ARCHITECT OF ANY CONFLICT ENCOUNTERED. CONTRACTOR SHALL PROVIDE ALL OFFSETS, ETC. WHICH MAY BE REQUIRED, WITHOUT ADDITIONAL COST TO THE OWNER
4. ALL SHEET METAL DUCT CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH "SMACNA" LOW PRESSURE DUCT CONSTRUCTION STANDARD
5. TURNING VANES SHALL BE INSTALLED IN ALL BENDS IN RECTANGULAR DUCT EXCEEDING 30°
6. ALL DUCTS SHALL BE SUPPORTED WITH 1" WIDE, 16 GAUGE, GALVANIZED STEEL BANDS
7. ALL RECTANGULAR DUCT SHALL BE INSULATED WITH A MIN. OF 1" INTERNAL LINER, 2 LBS DENSITY R-60 ALL ROUND DUCTS AND DIFFUSER TOPS SHALL HAVE A MIN. 2" THICK OF FOIL BACKED BLANKET TYPE INSULATION R=4-4.2, WITH ALL JOINTS BUTTED AND TAPED
8. ALL DUCT DIMENSIONS SHOWN ON PLANS ARE INTERNAL
9. THE MECHANICAL CONTRACTOR SHALL COORDINATE THE LOCATION OF SUPPLY AND RETURN AIR REGISTERS, DUCTS, GRILLES AND DIFFUSERS WITH LIGHTING AND CEILING PATTERNS
10. PROVIDE LATERAL BRACING OF ALL DUCTS AND PIPES AS REQUIRED BY CODE
11. INSULATE AND SEAL ALL DUCTWORK PER CHAPTER 10 OF THE STATE MECHANICAL CODE (T-24, PART 4)
12. MOUNT ALL THERMOSTATS AT 48" ABOVE FINISHED FLOOR
13. ALL BRACING OF DUCTS AND PIPING SHALL BE INSTALLED IN ACCORDANCE WITH SMACNA GUIDELINES
14. WHERE BRACING DETAILS ARE NOT SHOWN ON THE DRAWINGS OR IN THE GUIDELINES, THE FIELD INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT AND THE MECHANICAL ENGINEER
15. DUCT SMOKE DETECTOR SHALL BE INSTALLED BELOW THE ROOF
16. ALL MECHANICAL EQUIPMENT AND SYSTEMS INSTALLED AS PART OF PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2013 CALIFORNIA MECHANICAL CODE AND THE 2013 CALIFORNIA BUILDING CODE AND THE 2013 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
17. OUTSIDE AIR FOR A HEATING OR COOLING SYSTEM SHALL NOT BE TAKEN FROM CLOSER THAN 10 FEET FROM AN APPLIANCE VENT OUTLET, VENT OPENING OF A PLUMBING SYSTEM, OR THE DISCHARGE OUTLET OF EXHAUST FAN, UNLESS THE OUTLET IS 3 FT. ABOVE THE OUTSIDE AIR INLET (CMC 314.3)
18. PROVIDE 120 VOLT ELECTRICAL OUTLETS WITHIN 25 FT. OF ALL MECH. EQUIPMENT (CMC 309)
19. HEATING, VENTILATING AND AIR CONDITIONING SYSTEMS SHALL BE BALANCED IN ACCORDANCE WITH ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH CMC 317.1 REQUIREMENTS
  - A. AABC NATIONAL STANDARDS FOR TOTAL SYSTEM BALANCE
  - B. ACCA MANUAL B
  - C. ASHRAE 111
  - D. NEBB PROCEDURAL STANDARDS FOR TESTING, ADJUSTING, ADJUSTING, BALANCING OF ENVIRONMENTAL SYSTEMS
  - E. SMACNA HVAC TESTING, ADJUSTING AND BALANCING
20. MATERIALS EXPOSED WITHIN DUCTS OR PLENUMS SHALL BE NON-COMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 AND A SMOKE DEVELOPED INDEX NOT TO EXCEED 50 WHERE TESTED AS A COMPOSITE PRODUCT IN ACCORDANCE WITH ASTM E84 OR UL 723

OUTDOOR DUCTLESS UNIT SCHEDULE							
NAME MARK	MANUFACTURER/MODEL	COOLING CAP.(BTU/H)	HEATING CAP.(BTU/H)	SEER	MCA	BREAKER SIZE	VOLT
ACU	mitsubishi/MXZ-8C60NA	60,000	66,000	17.4	46	50	208-230

INDOOR DUCTLESS UNIT SCHEDULE		
NAME MARK	MANUFACTURER/MODEL	COOLING CAP.(BTU/H)
FC-1	mitsubishi/ SLZ-AK09NA	9000
FC-2	mitsubishi/ SLZ-AK09NA	9000
FC-3	mitsubishi/ SLZ-AK09NA	9000
FC-4	mitsubishi/ SLZ-AK09NA	9000
FC-5	mitsubishi/ SLZ-AK09NA	9000
FC-6	mitsubishi/ SEZ-KD15NA	14100

Exhaust Ultra-Silent Humidity-Sensing Ventilation Fan schedule								
TAG NUMBER	AREA SERVED	MODEL	TYPE	CFM	RPM	AMPS	WATTS	V/PH
EF-1	SEE PLAN	Broan-Nutone QTXE110S	CEILING	110	760.00	1.90	87.00	120.00

REMARKS:  
 1. DISCONNECT SWITCH/STARTER  
 2. PROVIDE MANUFACTURER VIBRATION ISOLATION KIT  
 3. BACKDRAFT DAMPER  
 4. INTERLOCK W/ LIGHTS  
 5. EQUIVALENT MODEL OR EQUAL

SUPPLY & RETURN DIFFUSER SCHEDULE						
SYMBOL	ADAPTOR/NECK SIZE	FACE SIZE	MAX CFM	MAX TP	MAX NC	THROW
SA	10" Ø	24"x24"	218	0.017	-	4-WAY
R	12" Ø	24"x24"	471	0.038	16	4-WAY

1. SA THRU R ARE TITUS MODEL OMNI STEEL DIFFUSERS.  
 2. LL IS TITUS MODEL LINEAR LOUVER DIFFUSERS.  
 ALL SUPPLY DIFFUSERS SHALL BE PROVIDED W/2" INSULATION BLANKET ON BACK OF DIFFUSER.  
 ALL DIFFUSERS SHALL HAVE OPPOSED BLADE DAMPERS (OBD).  
 \* RUNOUTS ARE DUCTS SERVING ONLY ONE SUPPLY DIFFUSER.







ELECTRICAL SPECIFICATIONS

Table with 4 main columns: PART 1 GENERAL, PART 2 PRODUCTS, PART 2 PRODUCTS, PART 3 EXECUTION. It contains detailed technical specifications for electrical systems, including materials, installation methods, and safety requirements.



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Date: June 3, 2021

DRAWING TITLE:

ELECTRICAL SPECS

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**PLAN DESIGN NOTES**

All installed luminaires shall be high-efficacy in accordance with ES TABLE 150.0-A.

In bathrooms, garages, laundry rooms, and utility rooms at least one luminaire shall be controlled by a vacancy sensor.

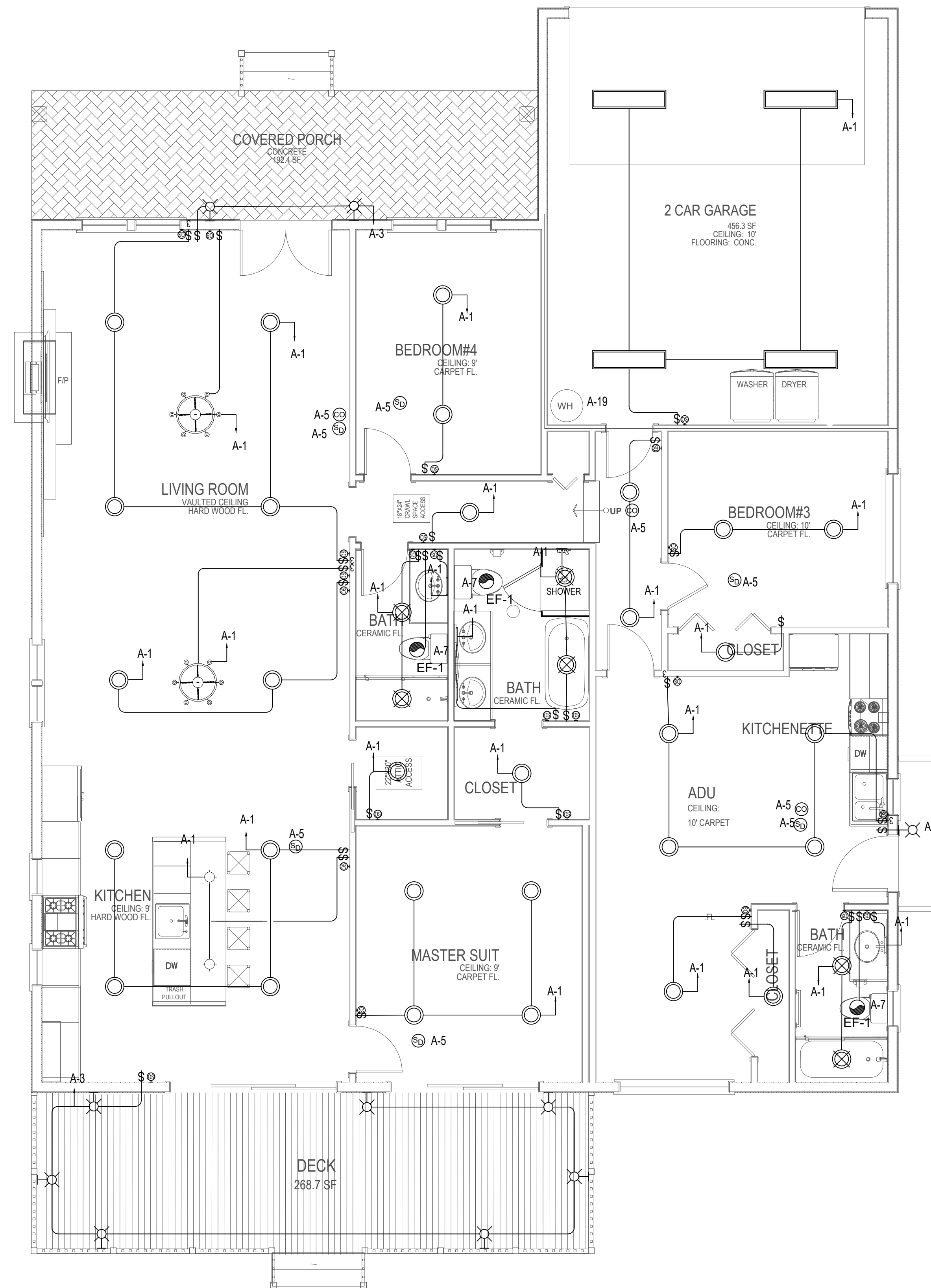
Dimmers or vacancy sensors shall control all LED style luminaires. Two exceptions: Fixtures installed in hallways or (closets under 70 square feet). Recessed Can Light High Efficiency fixtures shall be IC listed, air-tight labeled, and not be equipped with a standard medium base screw shell lamp holder. ES 150.0(k)

Light sources that are not marked "JA8-2016-E" shall not be installed in enclosed luminaires. ES 150.0(k)

Outdoor lighting fixtures that are attached to a building are required to be high efficacy, be manually on/off switch controlled and have both motion sensor and photocell control. See ES 150.0(k) 3 for additional control options.

**MANDATORY (CBEES 150.0(k):**

- Provide on utility plans a complete lighting fixture schedule.
- All luminaires shall be high-efficacy in accordance with CBEES Table 150.0-A
- All LED luminaires and lamps shall be marked JA8-2016 and listed in the California Energy Commission database at <https://cacertappliances.energy.ca.gov/Pages/ApplianceSearch.aspx>
- All recessed downlight and enclosed luminaires shall be marked JA8-2016-E and listed in the California Energy Commission database at <https://cacertappliances.energy.ca.gov/Pages/AppliancesSearch.aspx>
- Recessed downlight luminaires in ceilings shall not be screw-based.
- Bathrooms, garages, laundry rooms, and utility rooms: At least one luminaire in each space shall be controlled by a vacancy sensor.
- All luminaires requiring JA8-2016 or JA8-2016-E marking shall be controlled by a dimmer or vacancy sensor.
- Exception:** Closets less than 70 s.f.
- Exception:** Hallways
- Outdoor lighting permanently mounted to building shall be controlled by one of the following:
  - Photocontrol **and** motion sensor
  - Photocontrol **and** automatic time-switch control
  - Astronomical time clock



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Date: June 3, 2021

DRAWING TITLE:

**LIGHTING PLAN**

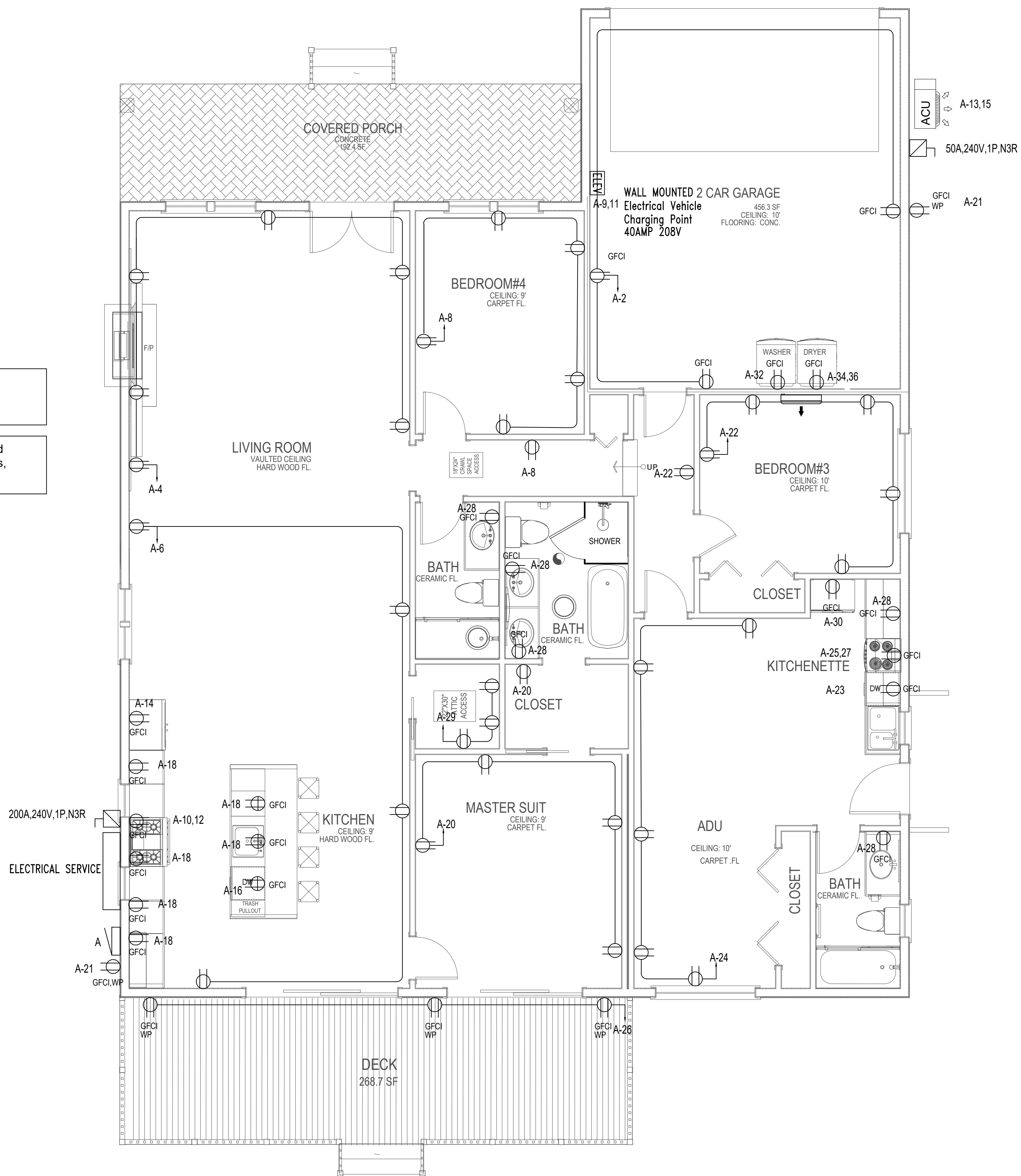
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**E-3**

Provide Tamper Resistant Receptacles for all locations in dwelling as described in CEC 210.52

Arc-Fault Protection for all outlets (not just receptacles) located in rooms described in NEC 210.12(A): Kitchens, Laundry areas, Family, Living, Bedrooms, Dining, Halls, etc.



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Project Name and Address:

Addition & ADU for  
**Mrs. Sadaf Ahmad**  
 39459 BLUE FIN WAY FREMONT, CA 94538



Date: June 3, 2021

DRAWING TITLE:

**POWER PLAN**

Scale:  
 1/4" = 1'-00"

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**E-4**

CONNECTED LOAD										DEMAND	
LOAD SUMMARY	CL	DF	A	B	TOTAL						
L Lighting	1.06	1.25	0.86	0.20	1.33						
R Convenience Recept	21.37		9.86	11.51	15.69						
H Heating (Space)	0.50	1.25	0.50	0.63							
C Cooling	7.58	1.00	4.74	2.84	7.68						
A HVAC		1.00									
P Process		1.00									
O Other Continuous		1.25									
K Kitchen	6.10	0.65	2.90	3.20	3.87						
N Noncontinuous	3.00	1.00	1.20	1.80	3.00						
Total	39.61		19.56	20.05	32.16						
Total Demand Load (KVA)	32.18										
Total Demand Current (A)	134.08										
Min. Feeder Ampacity (A)	167.60										

DESCRIPTION	* CB	KVA	A	B	KVA	CB	DESCRIPTION	*	
1 LIGHTING	L 20A-1P	0.86	1.40	0.54	20A-1P	GFCI OUTLET AT GARAGE	R 2		
3 LIGHTING	L 20A-1P	0.20	1.28	1.08	20A-1P	OUTLET AT LIVING	R 4		
5 EXHAUST FAN	C 20A-1P	0.60	1.32	0.72	20A-1P	OUTLET AT DINING	R 6		
7 SMOKE DETECTOR	N 20A-1P	0.60	1.68	1.08	20A-1P	OUTLET AT BEDROOM4	R 8		
9 EV CHARGER	N 40A-2P	1.20	3.20	2.00	30A-2P	RANGE / OVEN	K 10		
11	N 40A-2P	1.20	3.20	2.00			K 12		
13 ACU	C 40A-2P	2.84	3.74	0.90	20A-1P	FRIDGE	K 14		
15	C 40A-2P	2.84	4.04	1.20	20A-1P	DISH WASHER	K 16		
17 FURNACE	C 20A-1P	1.30	2.38	1.08	20A-1P	GFCI OUTLET AT KITCHEN	R 18		
19 WATER HEATER	H 20A-1P	0.50	1.40	0.90	20A-1P	OUTLET AT MASTER SUIT	R 20		
21 GFCI OUTLET	R 20A-1P	0.36	1.44	1.08	20A-1P	OUTLET AT BEDROOM3	R 22		
23 DISH WASHER	R 20A-1P	1.20	2.10	0.90	20A-1P	OUTLET AT BEDROOM2	R 24		
25 RANGE/OVEN	R 30A-2P	2.00	2.54	0.54	20A-1P	GFCI OUTLET AT COVERED DECK	R 26		
27	R 30A-2P	2.00	2.90	0.90	20A-1P	GFCI OUTLET AT BATH ROOM	R 28		
29 OUTLET	R 20A-1P	0.54	1.29	0.75	20A-1P	FRIDGE	R 30		
31 SPARE	20A-1P		1.20	1.20	20A-1P	WASHING MACHINE	R 32		
33 SPARE	20A-1P	2.25	2.25				R 34		
35 SPARE	20A-1P		2.25	2.25	30A-2P	DRYER	R 36		
37 SPARE	20A-1P				20A-1P	SPARE	R 38		
39 SPARE	20A-1P				20A-1P	SPARE	R 40		
41 SPARE	20A-1P				20A-1P	SPARE	R 42		
		(KVA)							
Total Connected Load		19.56	20.05						

### Available Fault Current Calculation

Utility Fault Current = 42,000 amperes    kVA = 28.86  
 BUS SIZE = 200A-1P CB BUS FLUG    E = 240  
 trans. FLA = 120

**I = kVA x 1000 = trans. FLA**  
 E

**I<sub>sc</sub> = trans. FLA x 100 x PF**    PF = 95%  
 transformer Z    Z = 4.00%

I<sub>sc</sub> = amperes short-circuit current RMS symmetrical.    I<sub>sc</sub> = 3,164 amperes

**Point to Point Method**    Single Phase 240/120  
 Length (distance) FEET    L = 50    Copper in Metal Raceway  
 (ASC)    I<sub>sc</sub> = 42,000

**f' factor = 2 x L x I**    # conductors per phase    N = 1  
**N x C x E L-N**    Phase conductor constant    C = 15,082    Phase Conductor 4/0  
 Volt Line to Line    E L-L = 240 Volt  
 f = 1.160  
 Neutral conductor constant    C = 15,082    Neutral Conductor 4/0  
 Volt Line to Neutral    E L-N = 120 Volt  
 f = 3.481

**Multiplier**  
 M = 1 / (1 + f)  
 Line to Line    M = 0.463  
 Line to Neutral    M = 0.223

I<sub>sc</sub> x M = fault current at terminals of main disconnect L-L = 19,442 amperes  
 I<sub>sc</sub> x M = fault current at terminals of main disconnect L-N = 14,060 amperes

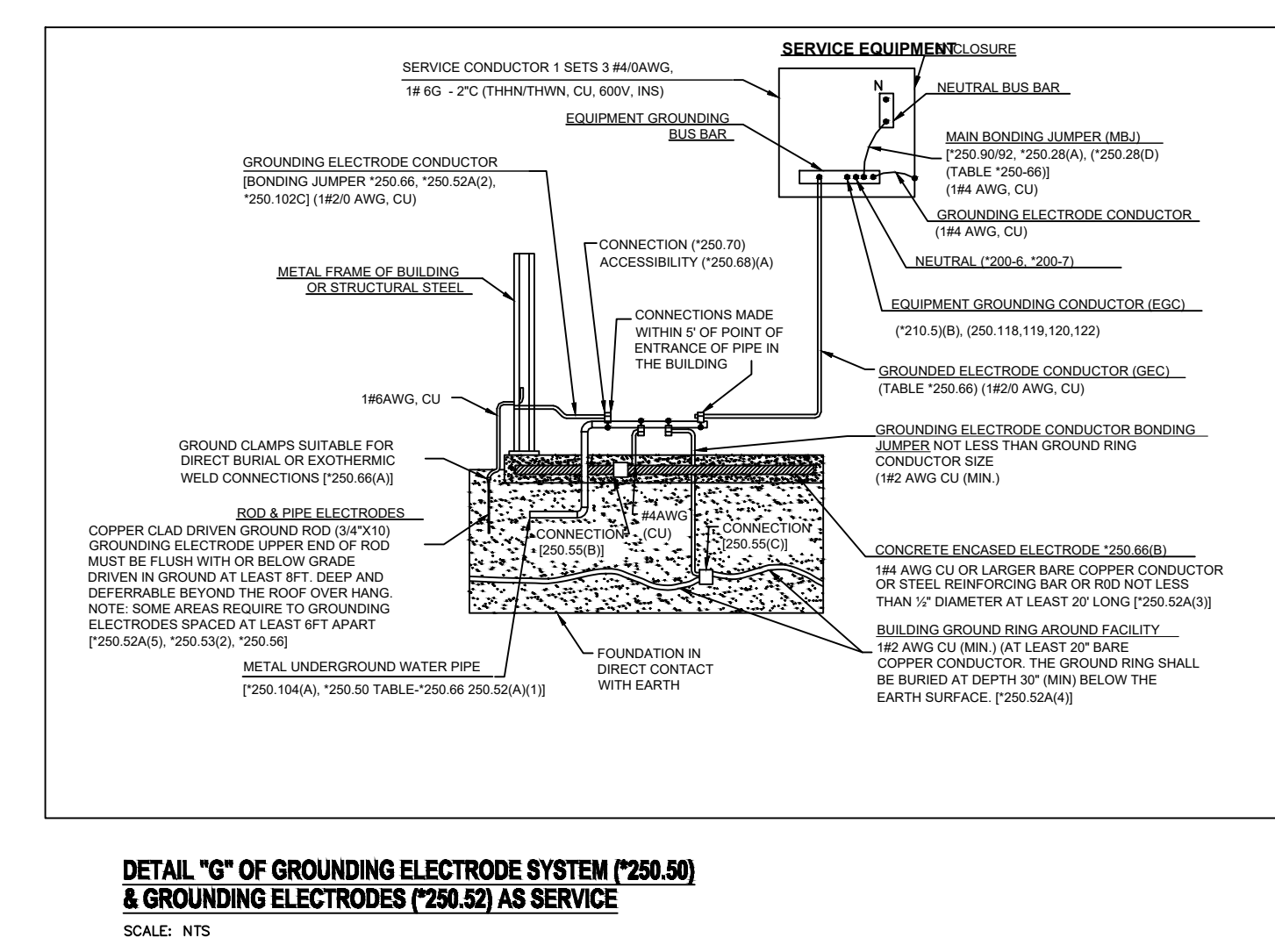
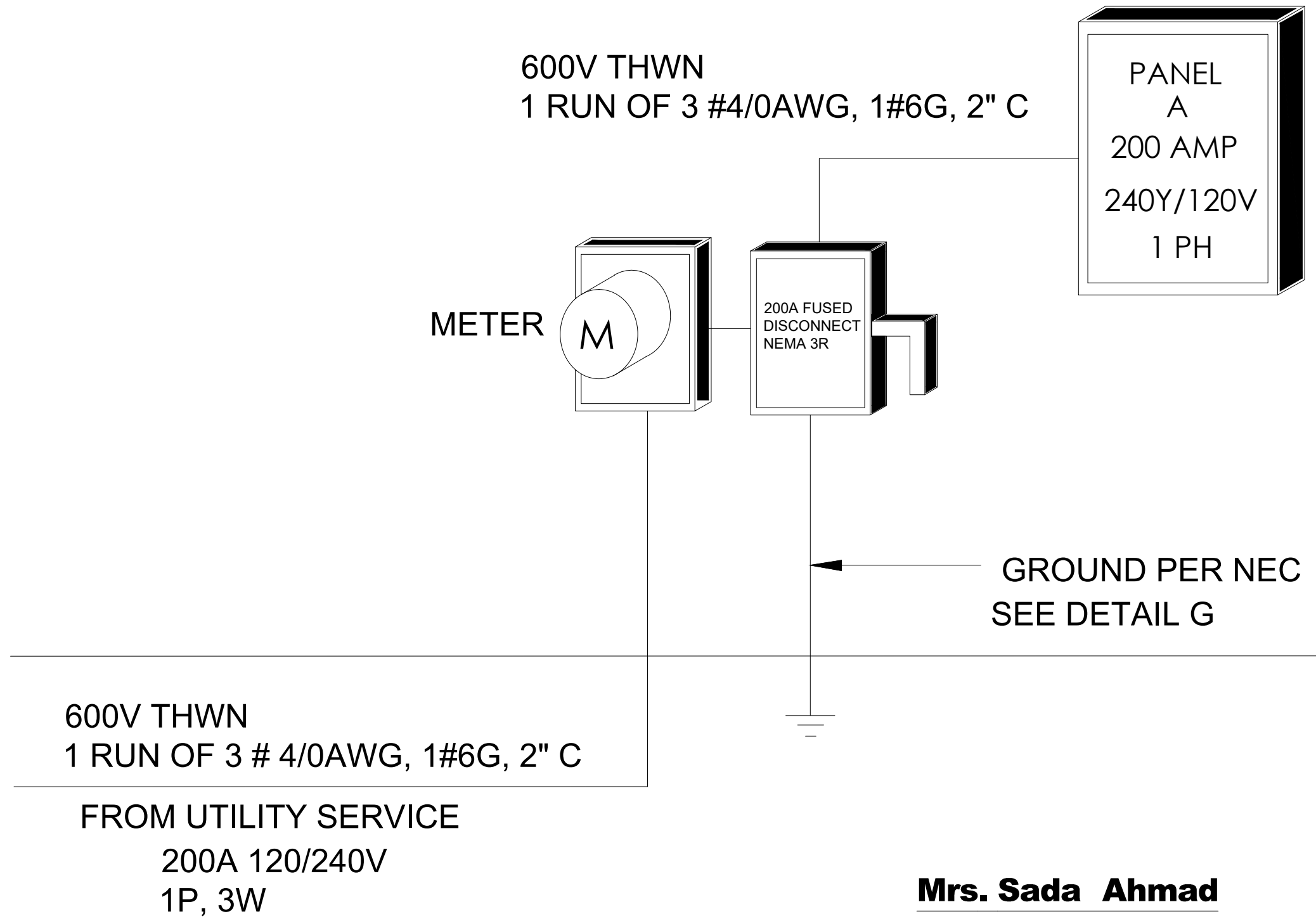
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**Fault Current from PANEL A**    Copper in Metal Raceway    Single Phase  
 Length (distance) L = 50  
 (ASC)    I<sub>sc</sub> = 19,442    Phase 14,060 Neutral  
 # conductors per phase    N = 1  
 Phase conductor constant    C = 15,082    Phase Conductor 4/0  
 Volt Line to Line    E L-L = 240 Volt  
 f = 0.537  
 Neutral conductor constant    C = 15,082    Neutral Conductor 4/0  
 Volt Line to Neutral    E L-N = 120 Volt  
 f = 0.777

**Multiplier**  
 M = 1 / (1 + f)  
 Line to Line    M = 0.651  
 Line to Neutral    M = 0.563

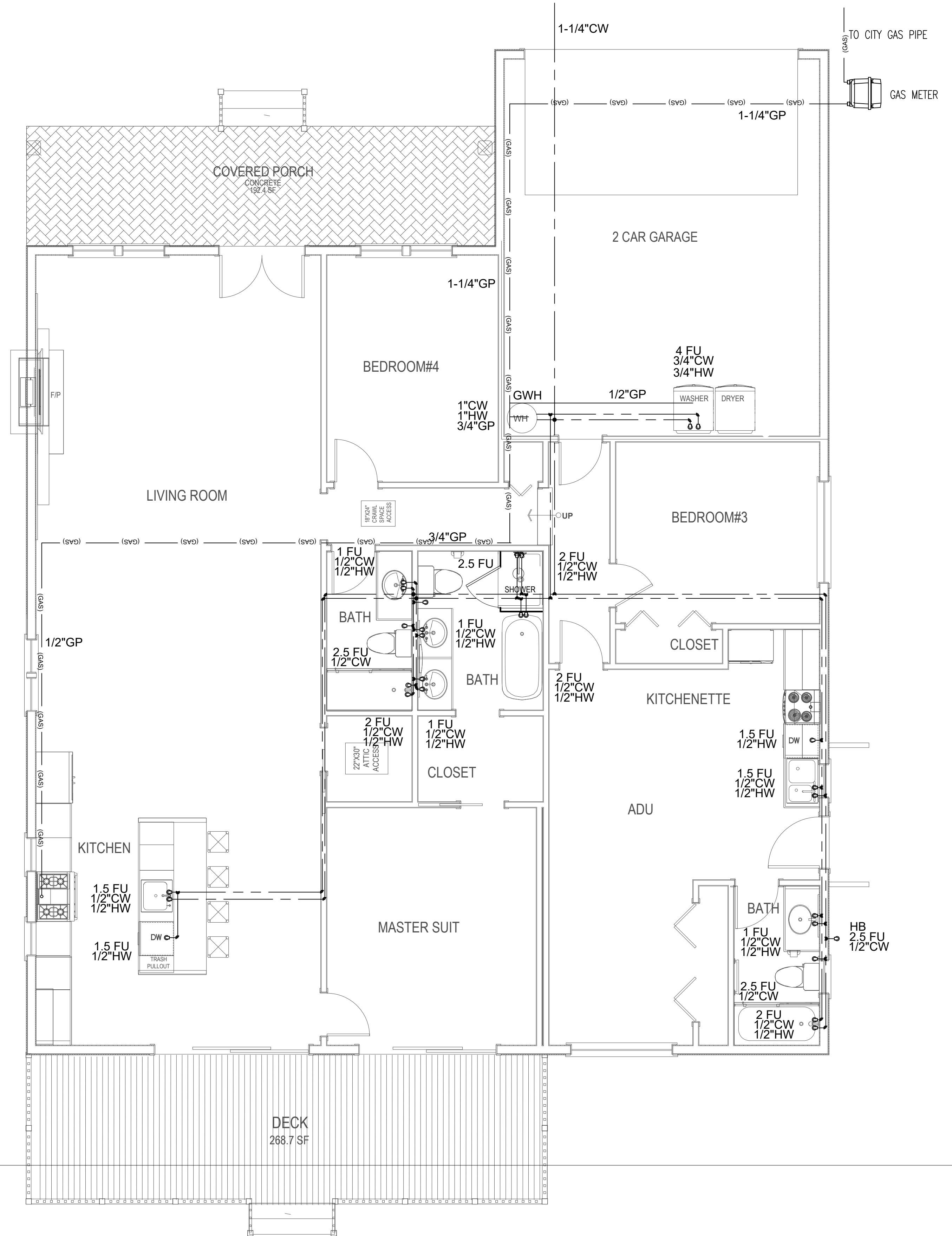
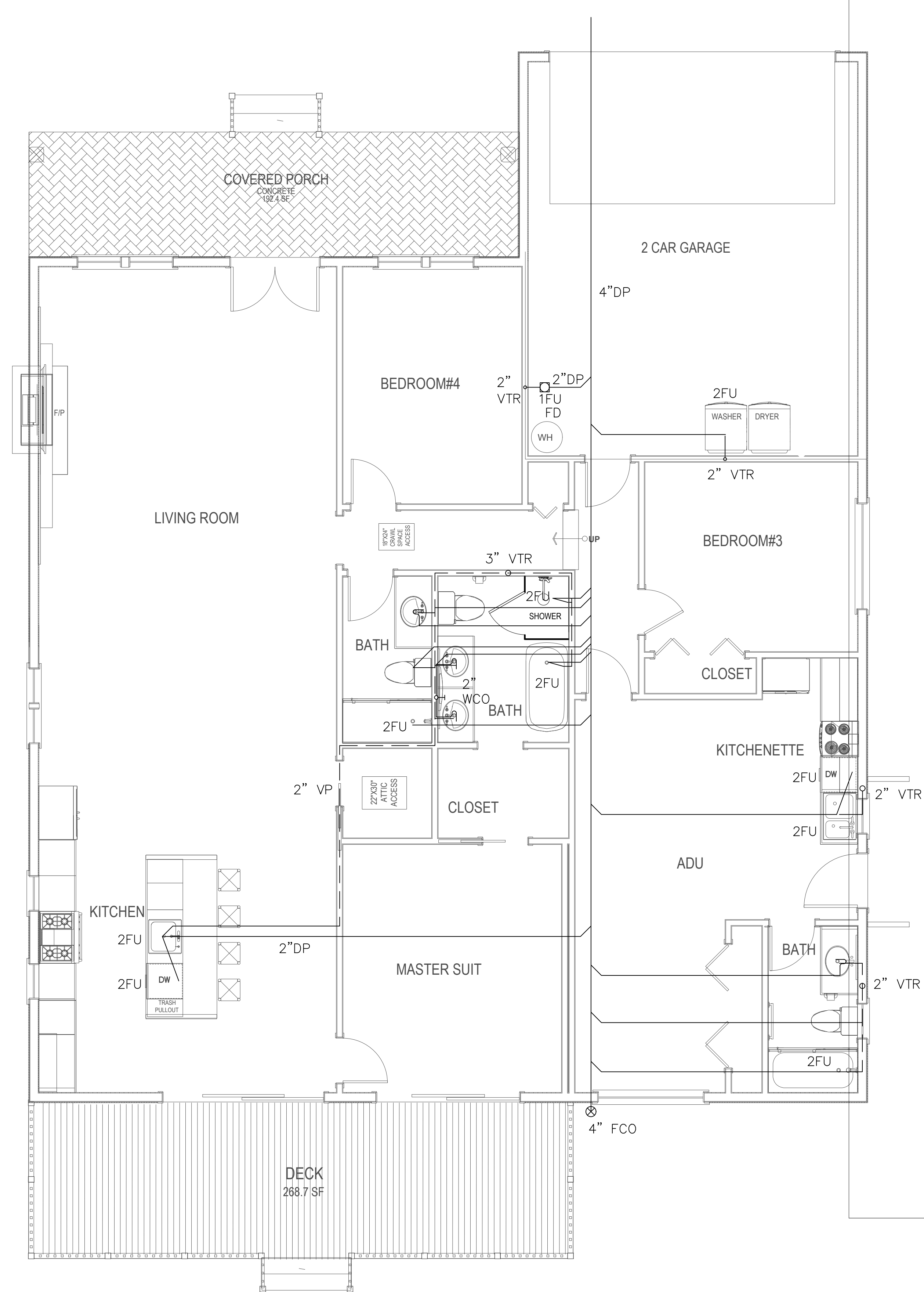
I<sub>sc</sub> x M = fault current at terminal of the panel L-L = 12,648 amperes  
 I<sub>sc</sub> x M = fault current at terminal of the panel L-N = 7,913 amperes

Calculation does not include motor contribution









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Date: June 3, 2021

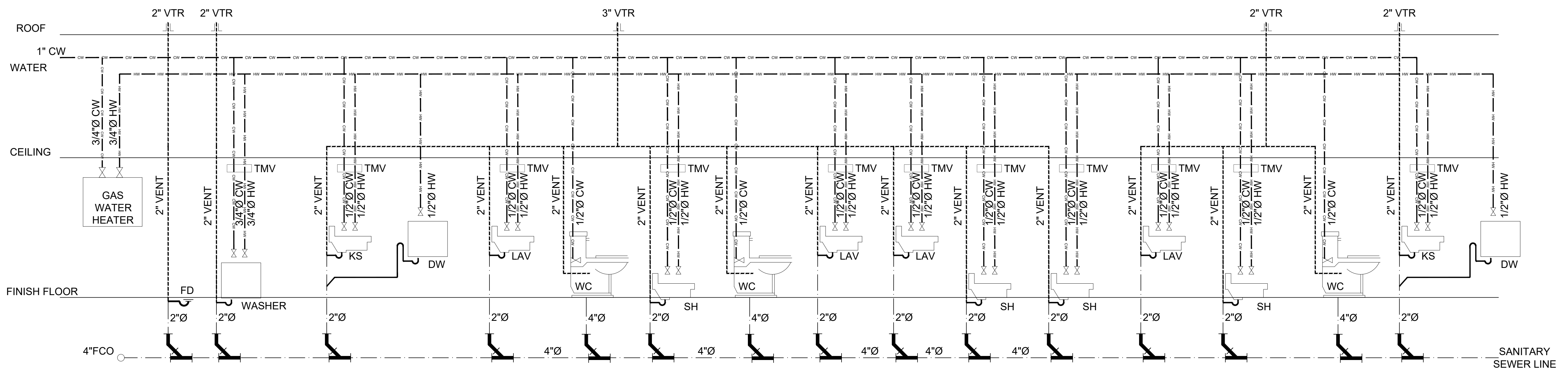
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**PLUMBING PLAN**

Scale:  
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**P-2**



### PLUMBING RISER DIAGRAM Scale NTS

#### WATER CALCULATIONS

AS PER UPC TABLE 610.3  
"WATER SUPPLY FIXTURE UNITS (WSFU) AND MINIMUM FIXTURE BRANCH PIPE SIZES"

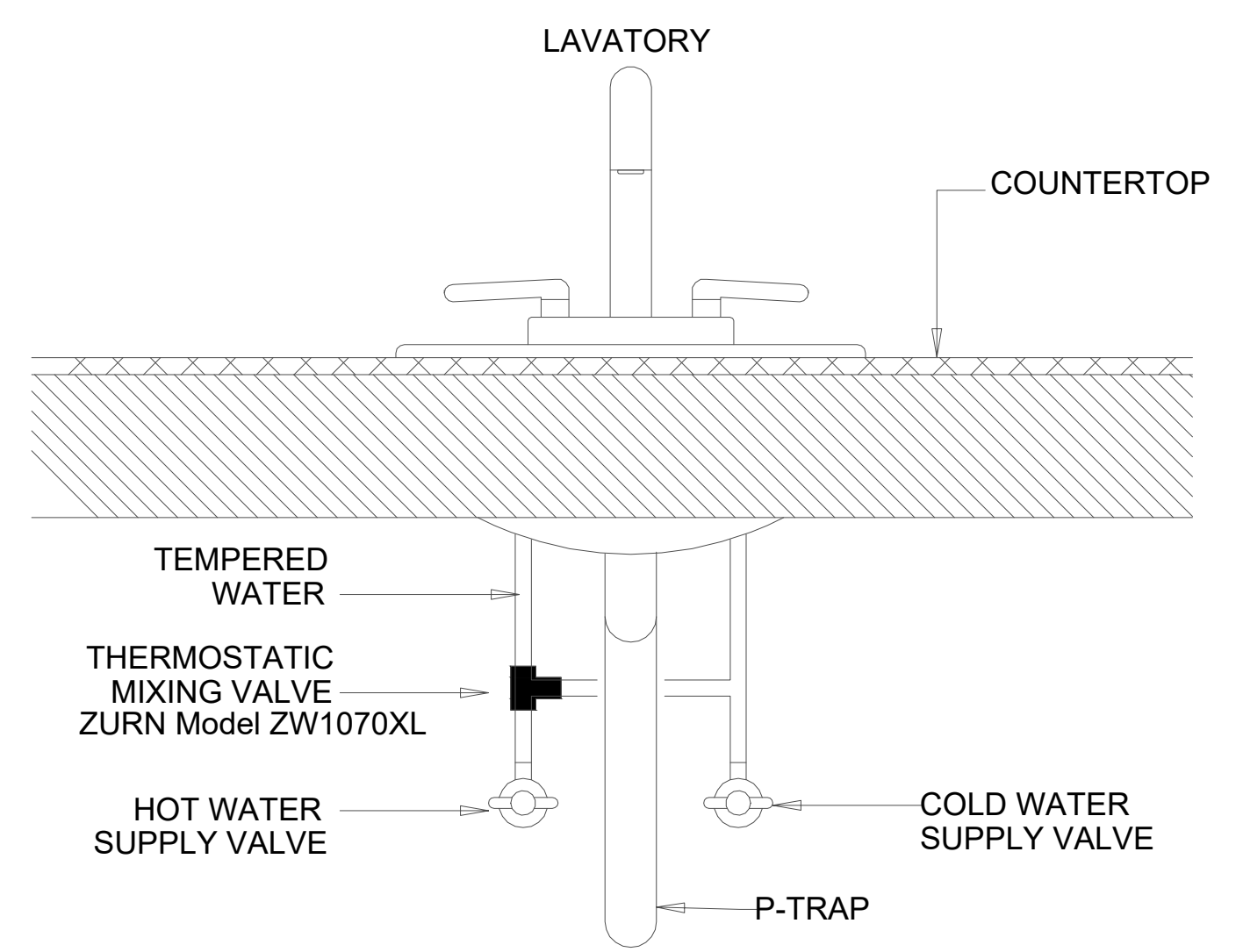
1 - WASHER	4	FU = 4
2 - DISHWASHER (DW)	1.5	FU = 3
2 - KITCHEN SINK	1.5	FU = 3
3 - WATER CLOSET	2.5	FU = 7.5
4 - LAVATORY (LAV)	1	FU = 4
4 - SHOWER	2	FU = 8
<b>TOTAL WSFU:</b>		<b>29.5 FU</b>

NOTE:  
THE FIXTURES BEING SHOWN FOR THIS PERMIT WILL BE CONNECTED TO  
1-1/4" METER PIPE SIZES ARE CONSERVATIVELY SIZED USING 8 PSI/100'

WATER PIPING CONSERVATIVELY SIZED AT 8.0 PSI/100'

PIPE SIZING CHART	TANK	VALVE
1/2" = 3 GPM	= 3 FU	- FU
3/4" = 8 GPM	= 10 FU	- FU
1" = 17 GPM	= 24 FU	- FU
1-1/4" = 29 GPM	= 51 FU	12 FU
1-1/2" = 44 GPM	= 103 FU	35 FU
2" = 76 GPM	= 254 FU	132 FU
2-1/2" = 115 GPM	= 455 FU	329 FU
3" = 165 GPM	= 719 FU	666 FU
3-1/2" = 220 GPM	= 1091 FU	1091 FU
4" = 290 GPM	= 1668 FU	1668 FU

NOTE: PIPE SIZING CHART SIZED WITH  
2015 UPC FIGURE A 103.1(1) @ 8.0 PSI/100'  
FOR FRICTION LOSS CHART A 105.1(1)



#### TMV INSTALLATION NOT TO SCALE

### AO Smith COMMERCIAL-GRADE RESIDENTIAL GAS WATER HEATERS

#### POLARIS™ HIGH EFFICIENCY COMMERCIAL-GRADE RESIDENTIAL

The Polaris high efficiency gas water heater is the high performance answer for today's hot water needs. It can provide endless hot water\* and can be used for a combination of domestic hot water and space heating.

- CONDENSING DESIGN**
  - High efficiency operation with 0.90 Uniform Energy Factor (UEF) and up to 96% thermal efficiency to save money on operating costs
  - Helical internal heat exchanger keeps hot combustion gases in the tank longer to extract more heat into the water
- STAINLESS STEEL CONSTRUCTION**
  - Tank and helical heat exchanger are constructed from 444 stainless steel for excellent corrosion resistance without the need for an anode
- WHISPER QUIET OPERATION**
  - Ultra quiet blower and burner to minimize noise
- POWER DIRECT VENT DESIGN**
  - Direct vent using PVC, CPVC or Polypropylene (solid core only) through a 4-way roof
  - Optional concentric vent kit
  - 2" pipe vents up to 52 equivalent feet (100-150k BTU/hr inputs)
  - 3" pipe vents up to 130 equivalent feet
- ADVANCED ELECTRONIC CONTROL**
  - Large touchscreen display
  - Precise temperature control
  - Advanced water heater status and diagnostics
- FULLY SERVICEABLE FROM THE FRONT**
  - Two front access panels expose all serviceable components. Modular components are all easily removed.
- ULTRA-LOW NOx MODULATING GAS BURNER**
  - Enhanced Ultra-low NOx burner complies with SCAQMD Rule 1146.2 and other Air Quality Management Districts with similar requirements for NOx emissions of less than 14 ppb
  - Modulating burner maintains high efficiency operation at lower input rates
- SIDE-MOUNTED HOT AND COLD RECIRCULATING TAPS**
  - Polaris can be easily installed with a recirculation system or as part of a combined domestic & space heating system
- AVAILABLE IN NATURAL GAS OR PROPANE**
- CSA CERTIFIED AND ASME RATED T&P RELIEF VALVE**
- STANDARDS AND CERTIFICATIONS**
  - Design-certified by CSA International according to ANSI Z21.10.3 - CSA 4.3 Standards
  - Meets UBC, CEC, and ICC National Codes
  - Meets the thermal efficiency and standby loss requirements of the U.S. Department of Energy and current edition of ASHRAE/IES 90.1
- 10-YEAR LIMITED TANK AND 10-YEAR PARTS WARRANTY**
  - For complete information, consult written warranty or go to hotwater.com

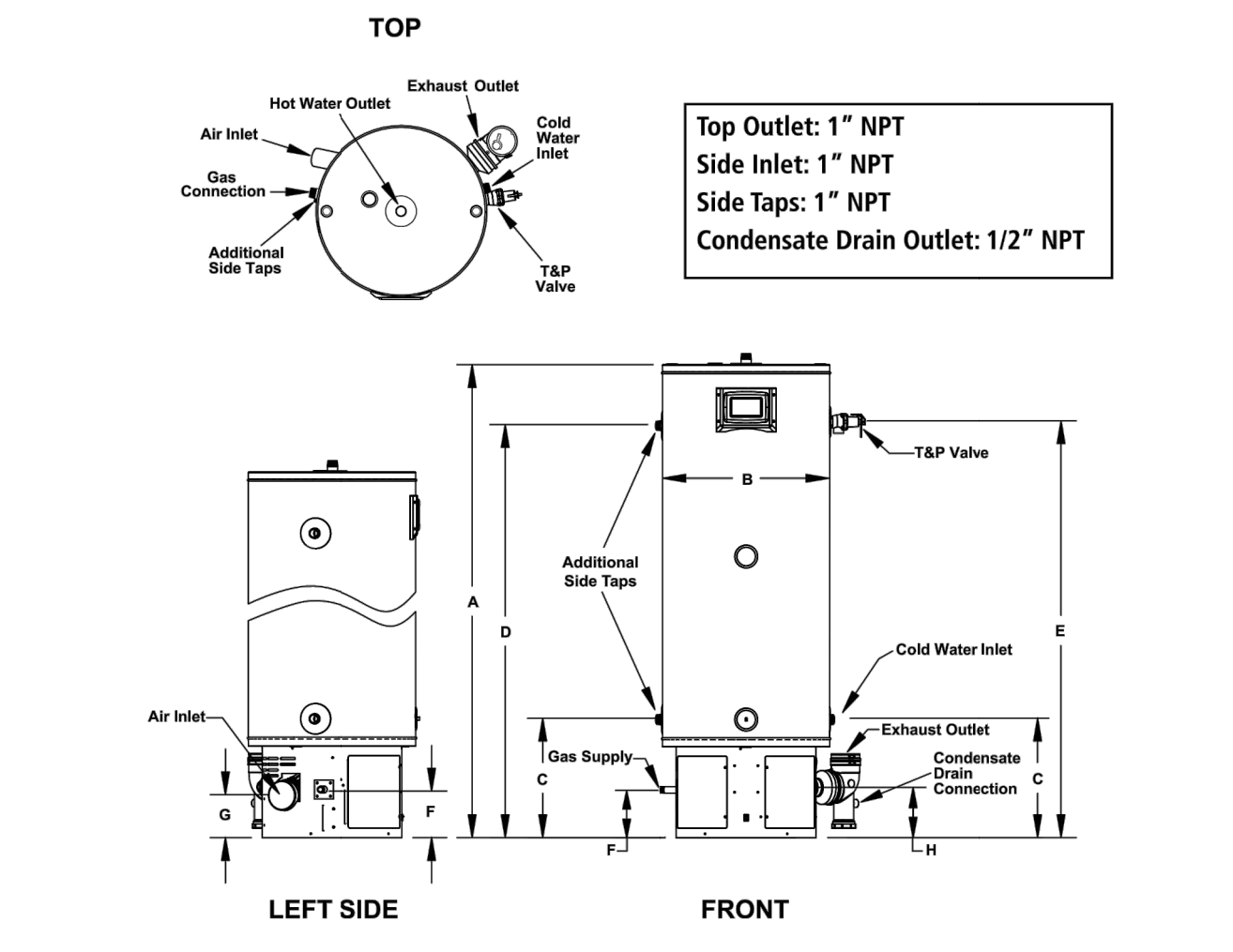


MODEL SHOWN GTP-199 SERIES 200/201  
AUGI CERTIFIED

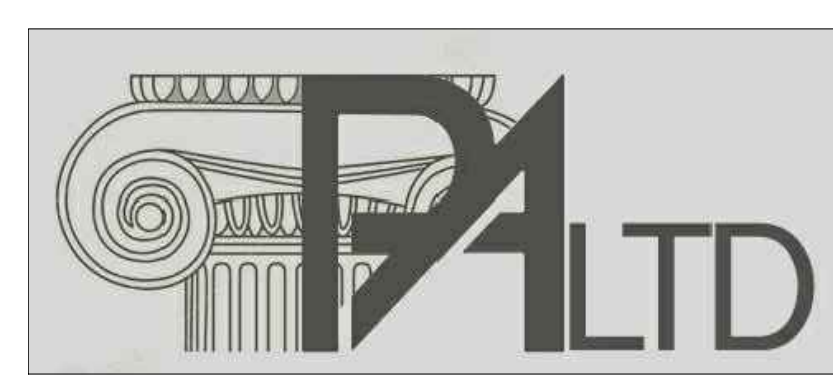
### AO Smith COMMERCIAL-GRADE RESIDENTIAL GAS WATER HEATERS

Model Number	Nominal Capacity	Rated Storage Volume	First Hour Rating (Gallons)	UEF	Thermal Efficiency	Recovery @ 90° Rise Gallon Per Hour	BTU Input Per Hour	Dimensions in Inches	Vent Connection	1" Water Connections	T&P	Gas Supply	Approx. Shipping Weight (lbs)
								A B	C D E	F			
GSP-100	24	33	170	0.90	96%	179	100,000	48-1/2 22	2 or 3	15-3/4 40-1/2 41	6-3/8	150	
GSP-130	24	N/A	N/A	N/A	96%	165	130,000	48-1/2 22	2 or 3	15-3/4 40-1/2 41	6-3/8	150	
GSP-150	24	N/A	N/A	N/A	94%	190	150,000	48-1/2 22	2 or 3	15-3/4 40-1/2 41	6-3/8	150	
GTP-130	50	N/A	N/A	N/A	95%	165	130,000	62-3/8 22	2 or 3	15-3/4 54-1/2 55	6-3/8	176	
GTP-150	50	N/A	N/A	N/A	95%	190	150,000	62-3/8 22	2 or 3	15-3/4 54-1/2 55	6-3/8	180	
GTP-175	50	N/A	N/A	N/A	96%	222	175,000	63-3/4 22	3	15-3/4 55-3/4 56-1/4	6-3/8	180	
GTP-199	50	N/A	N/A	N/A	96%	253	199,000	63-3/4 22	3	15-3/4 55-3/4 56-1/4	6-3/8	180	

Available in Propane (LPG) gas. Specify when ordering Propane (LPG) gas. Models certified for sea level to 2,700 ft. elevation.



For Technical Information, call 800-527-1953. A. O. Smith Corporation reserves the right to make product changes or improvements without prior notice.  
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Date: June 3, 2021

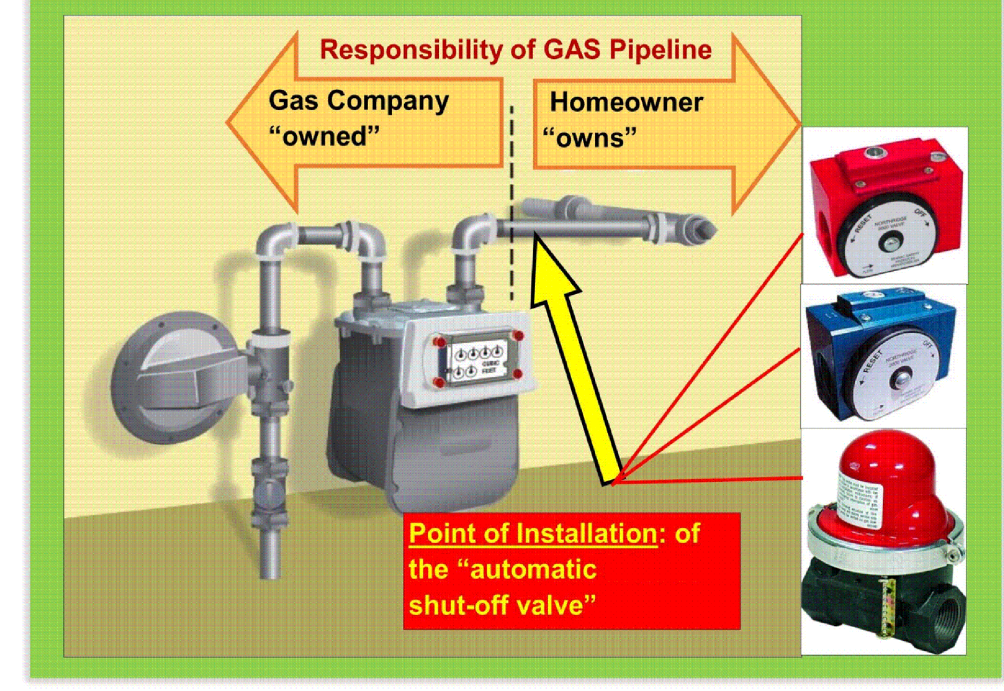
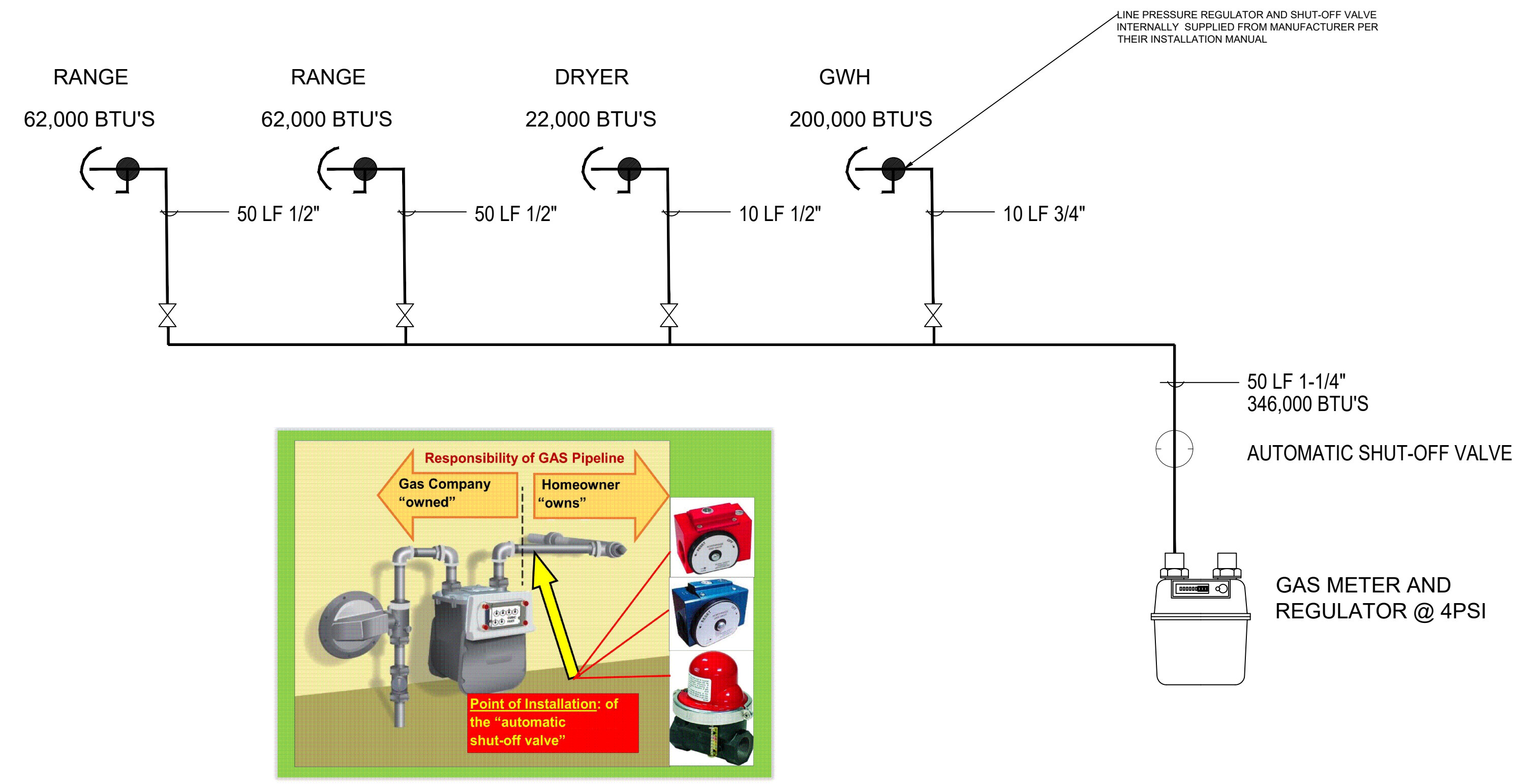
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PLUMBING RISER DIAGRAM

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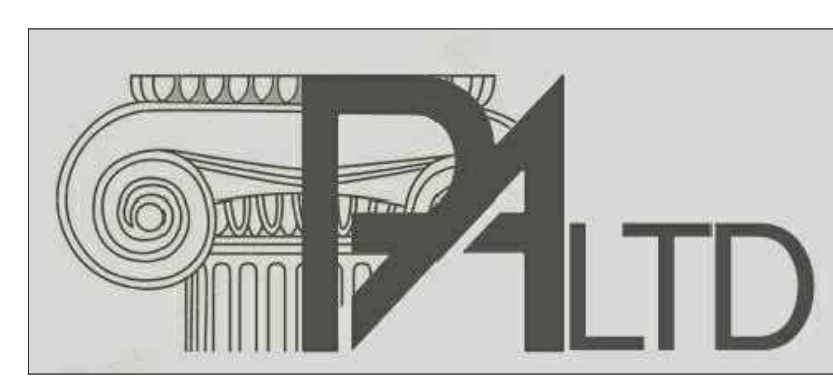
P-3



1215.2 Tables for Sizing Gas Piping Systems  
 Table 1215.2(1) through Table 1215.2(36) shall be used to size gas piping in conjunction with one of the methods described in Section 1215.1.1 through Section 1215.1.3. [NFPA 54:6.2]

TABLE 1215.2(1)  
 SCHEDULE 40 METALLIC PIPE [NFPA 54: TABLE 6.2(b)]<sup>1,2</sup> GAS NATURAL  
 INLET PRESSURE: LESS THAN 2 psi  
 PRESSURE DROP: 0.5 in. w.c.  
 SPECIFIC GRAVITY: 0.60

LENGTH(feet)	PIPE SIZE (inch)													
	NOMINAL: 1/2	3/4	1	1 1/4	1 1/2	2	2 1/2	3	4	5	6	8	10	12
	ACTUAL: 0.622	0.824	1.049	1.380	1.610	2.067	2.469	3.068	4.026	5.047	6.065	7.981	10.020	11.938
	CAPACITY IN CUBIC FEET OF GAS PER HOUR													
10	172	360	678	1390	2090	4020	6400	11300	23100	41800	67600	139000	252000	399000
20	118	247	466	957	1430	2760	4400	7780	15900	28700	46500	95500	173000	275000
30	95	199	374	768	1150	2220	3530	6250	12700	23000	37300	76700	139000	220000
40	81	170	320	657	985	1900	3020	5350	10900	19700	31900	65600	119000	189000
50	72	151	284	583	873	1680	2680	4740	9660	17500	28300	58200	106000	167000
60	65	137	257	528	791	1520	2430	4290	8760	15800	25600	52700	95700	152000
70	60	126	237	486	728	1400	2230	3950	8050	14800	23600	48500	88100	139000
80	56	117	220	452	677	1300	2080	3670	7490	13600	22000	45100	81900	130000
90	52	110	207	424	635	1220	1950	3450	7030	12700	20600	42300	76900	122000
100	50	104	195	400	600	1160	1840	3260	6640	12000	19500	40000	72600	115000
125	44	92	173	355	532	1020	1630	2890	5890	10600	17200	35400	64300	102000
150	40	83	157	322	482	928	1480	2610	5330	9650	15600	32100	58300	92300
175	37	77	144	296	443	854	1360	2410	4910	8880	14400	29500	53600	84900
200	34	71	134	275	412	794	1270	2240	4560	8260	13400	27500	49900	79000
250	30	63	119	244	366	704	1120	1980	4050	7320	11900	24300	44200	70000
300	27	57	108	221	331	638	1020	1800	3670	6630	10700	22100	40100	63400
350	25	53	99	203	305	587	935	1650	3370	6100	9880	20300	36900	58400
400	23	49	92	189	283	546	870	1540	3140	5680	9190	18900	34300	54300
450	22	46	86	177	266	512	816	1440	2940	5330	8620	17700	32200	50900
500	21	43	82	168	251	484	771	1360	2780	5030	8150	16700	30400	48100
550	20	41	78	159	239	459	732	1290	2640	4780	7740	15900	28900	45700
600	19	39	74	152	228	438	699	1240	2520	4560	7380	15200	27500	43600
650	18	38	71	145	218	420	669	1180	2410	4360	7070	14500	26400	41800
700	17	36	68	140	209	403	643	1140	2320	4190	6790	14000	25300	40100
750	17	35	66	135	202	389	619	1090	2230	4040	6540	13400	24400	38600
800	16	34	63	130	195	375	598	1060	2160	3900	6320	13000	23600	37300
850	16	33	61	126	189	363	579	1020	2090	3780	6110	12600	22800	36100



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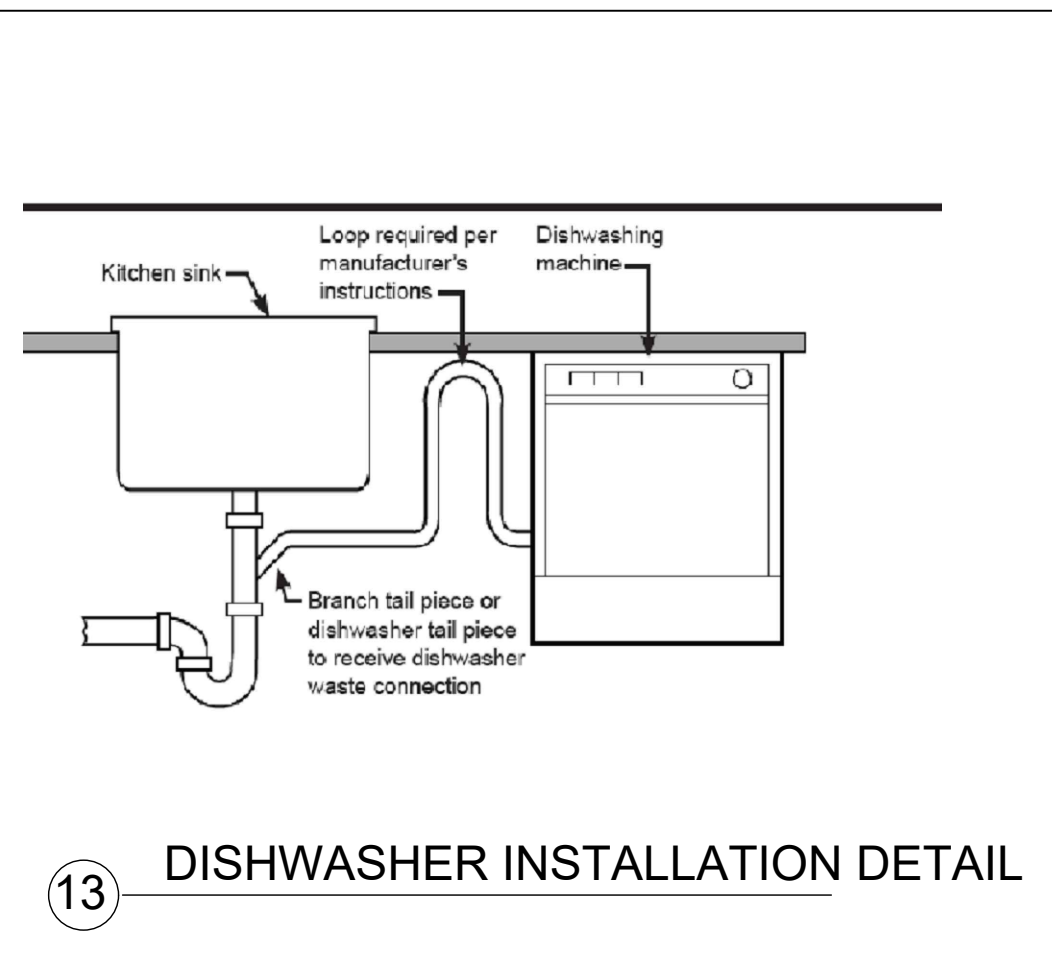
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**GAS RISER DIAGRAM**

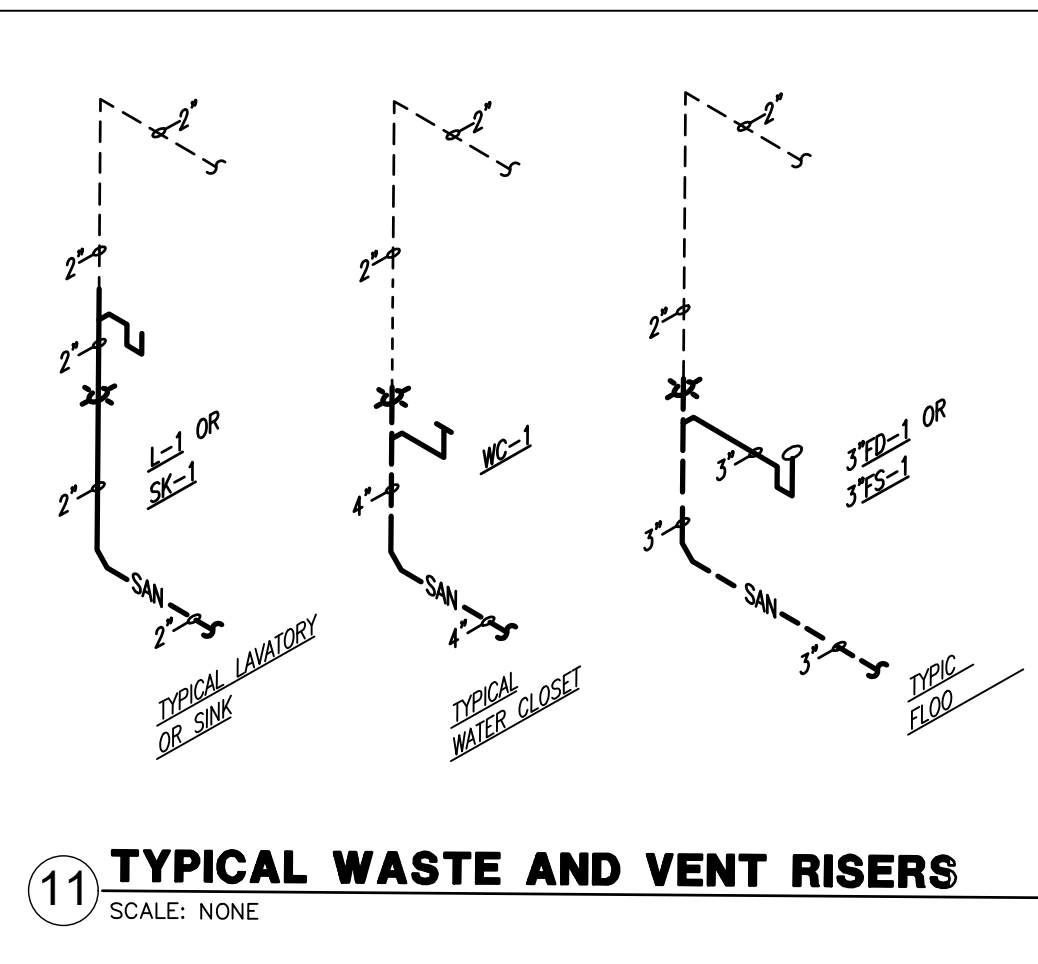
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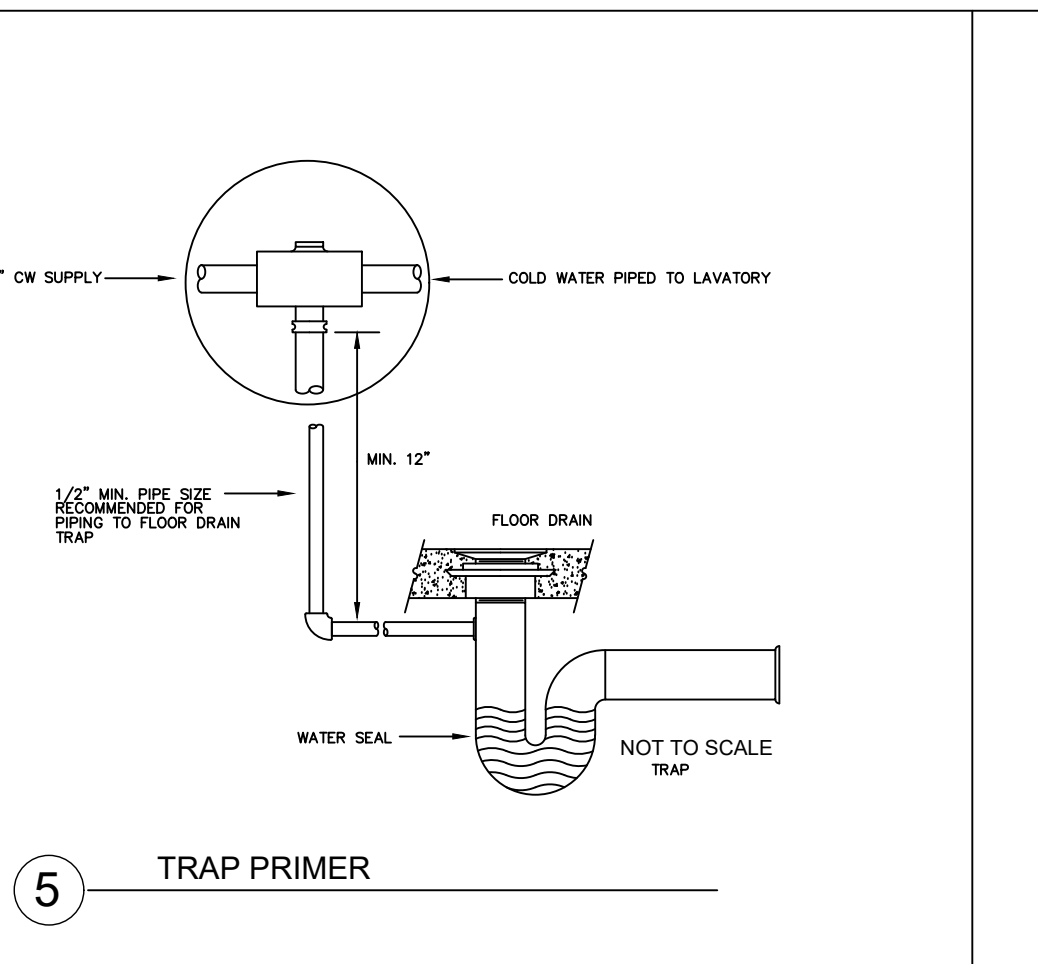
**P-4**



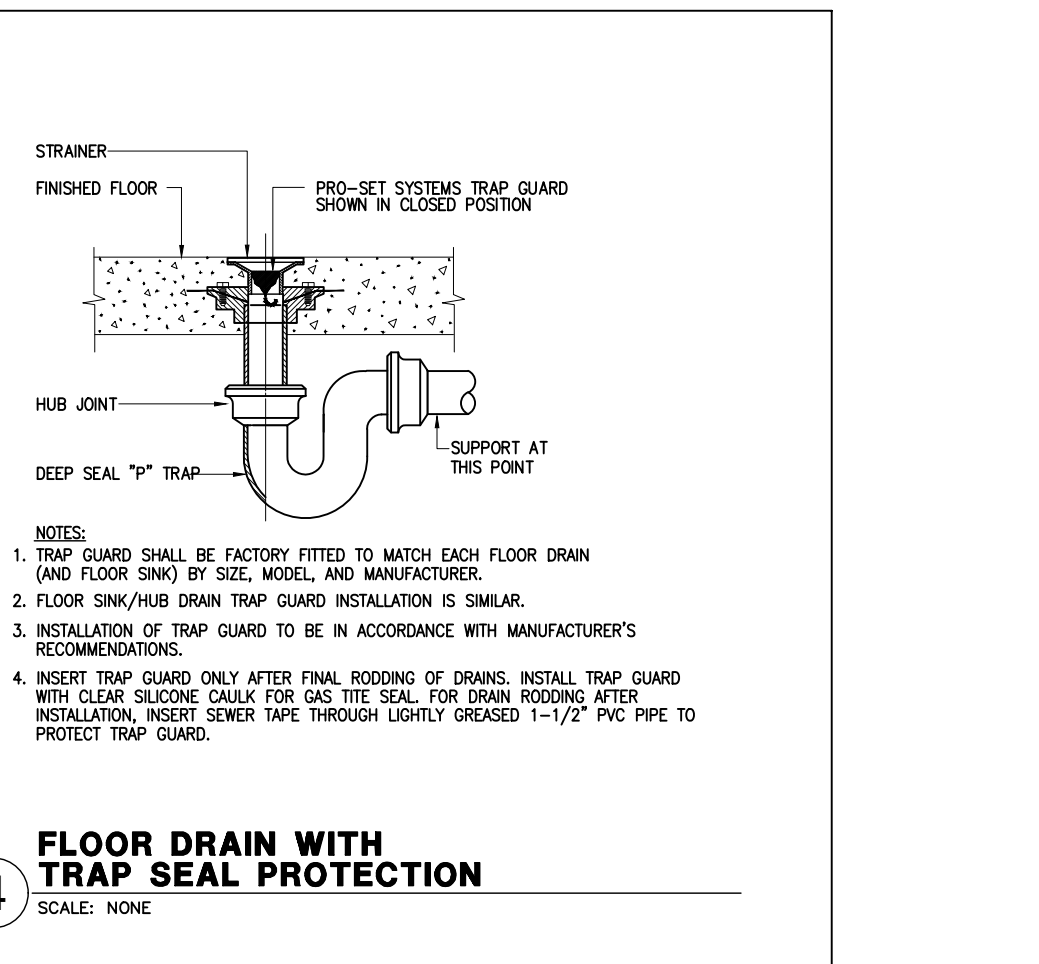
13 DISHWASHER INSTALLATION DETAIL



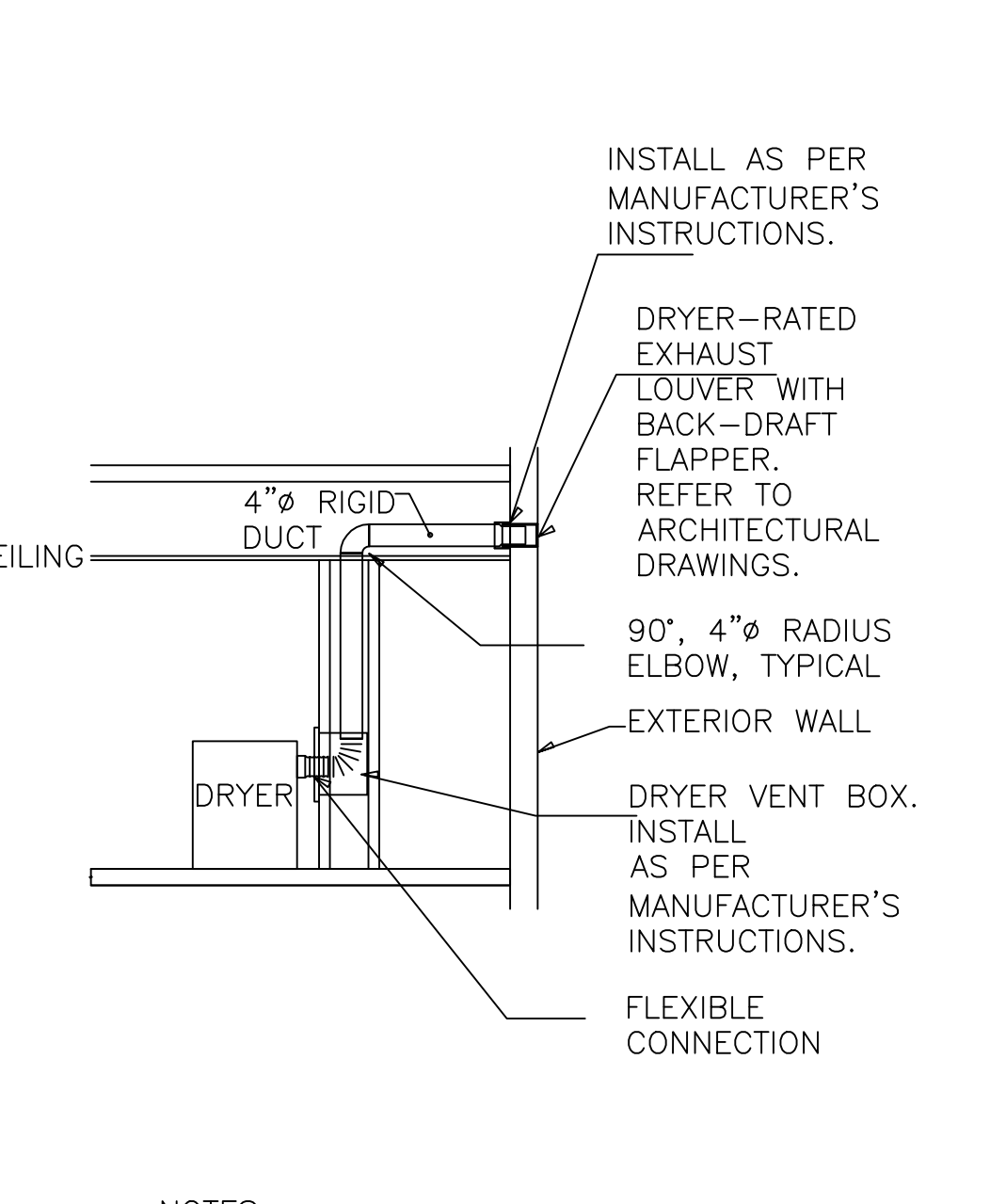
11 TYPICAL WASTE AND VENT RISERS  
SCALE: NONE



5 TRAP PRIMER



4 FLOOR DRAIN WITH TRAP SEAL PROTECTION  
SCALE: NONE



INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.

DRYER-RATED EXHAUST LOUVER WITH BACK-DRAFT FLAPPER. REFER TO ARCHITECTURAL DRAWINGS.

90°, 4" RADIUS ELBOW, TYPICAL EXTERIOR WALL

DRYER VENT BOX. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.

FLEXIBLE CONNECTION

NOTES:

1. THE MALE END OF THE OVERLAPPED DUCT JOINTS SHALL EXTEND IN THE DIRECTION OF AIRFLOW.
2. NO SCREWS SHALL BE ALLOWED IN THE DRYER EXHAUST DUCT AND ALL JOINTS SHALL BE SEALED WITH FOIL FACED TAPE.
3. DRYER EXHAUST SYSTEM IS DESIGNED BASED ON A WASHER/DRYER AS MANUFACTURED BY GE MODEL GFDN120ED. CONTRACTOR SHALL USE SHEET METAL ROUND DUCTWORK AND MINIMIZE THE USE OF FLEXIBLE DUCTWORK.

MAXIMUM LENGTH OF 4 INCH DIAMETER RIGID METAL DUCT:

No. of Elbow Feet	Length
0	90
1	60
2	45
3	35
4	25

DRYER EXHAUST DETAIL "A"  
NOT TO SCALE

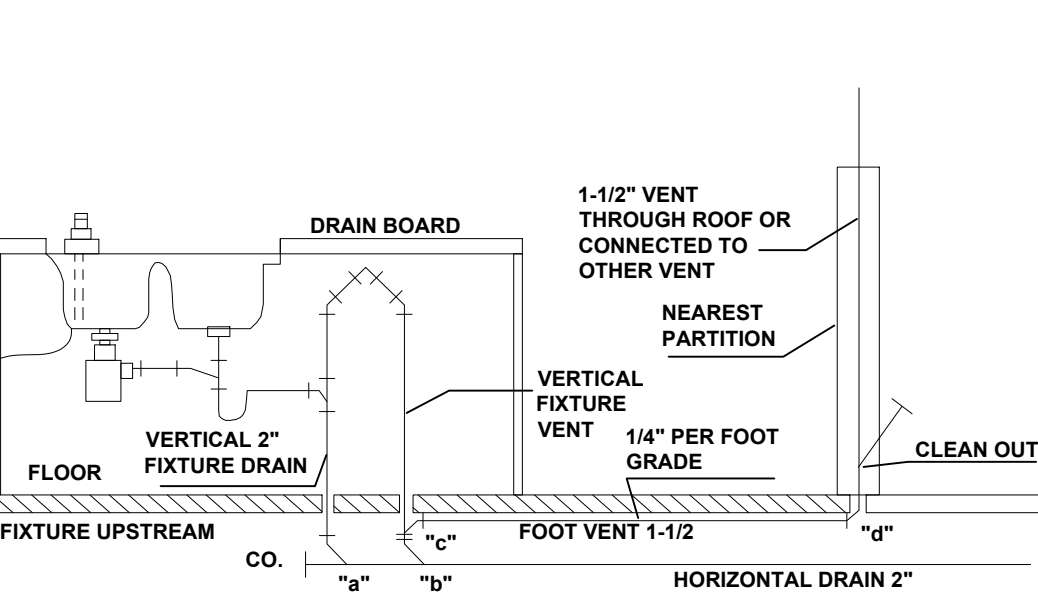
12 DRYER VENT  
SCALE: NONE

TRAPS FOR ISLAND SINKS AND SIMILAR EQUIPMENT SHALL BE TOUGHED IN ABOVE THE FLOOR AND MAY BE VENTED BY EXTENDING THE VENT AS HIGH AS POSSIBLE, BUT NOT LESS THAN THE DRAINBOARD EIGHT". THE VENT IS THEN RETURNED DOWNWARD AND CONNECTED TO THE HORIZONTAL SINK DRAIN IMMEDIATELY DOWNSTREAM FROM THE VERTICAL FIXTURE DRAIN.

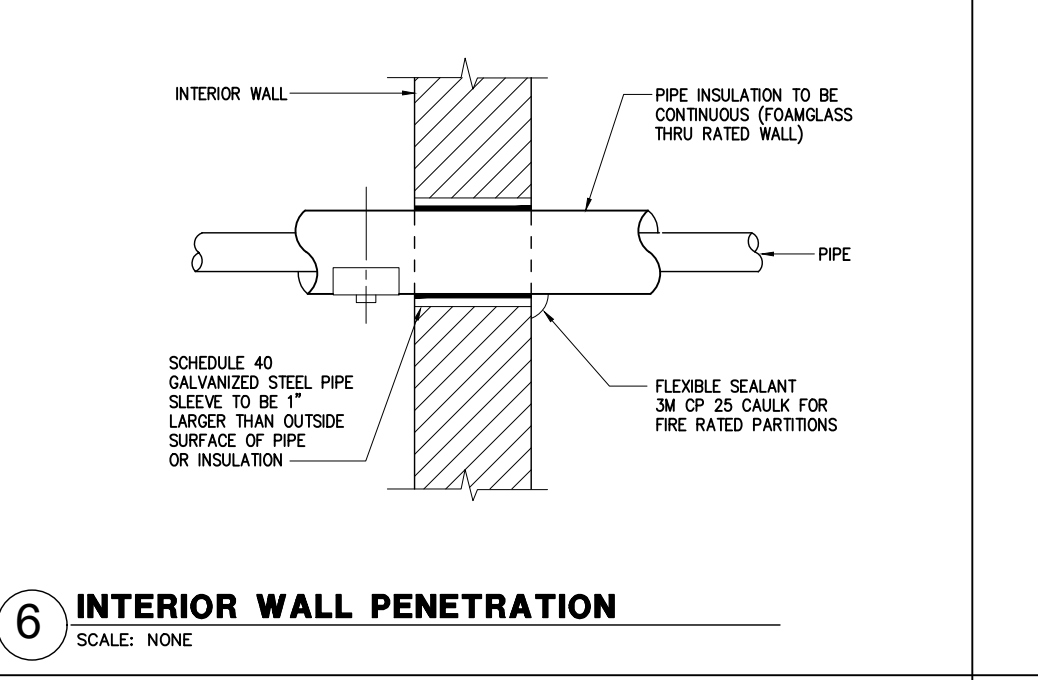
THE RETURNED VENT SHALL BE CONNECTED TO THE HORIZONTAL DRAIN THROUGH A WYE-BRANCH FITTING AND SHALL IN ADDITION BE PROVIDED WITH A FOOT VENT TAKEN OFF THE VERTICAL FIXTURE VENT BY MEANS OF A WYE-BRANCH FITTING IMMEDIATELY BELOW THE FLOOR. THIS FOOT VENT EXTENDS TO THE NEAREST PARTITION AND THENCE THROUGH THE ROOF TO THE OPEN AIR, OR MAY BE CONNECTED TO OTHER VENTS AT A POINT NOT LESS THAN SIX(6) INCHES ABOVE THE FLOOD LEVEL RIM TO OF THE FIXTURE SERVED.

DRAINAGE FITTINGS SHALL BE USED ON ALL PARTS OF THE VENT BELOW THE FLOOR LINE. THIS INCLUDES FITTINGS NOTED AS A, B, C AND D. THE FOOT VENT SHALL MAINTAIN A MINIMUM SLOPE OF ONE - QUARTER (1/4) INCH PER FOOT BACK TO DRAIN. THE RETURN BEND USED UNDER THE DRAIN BOARD SHALL BE A ONE PRICE FITTING, OR AN ASSEMBLY OF A 45 DEGREE, A 90 DEGREE AND A 45 DEGREE ELBOW IN THE ORDER NAMED. PIPE SIZING SHALL BE REQUIRED IN THE CODE.

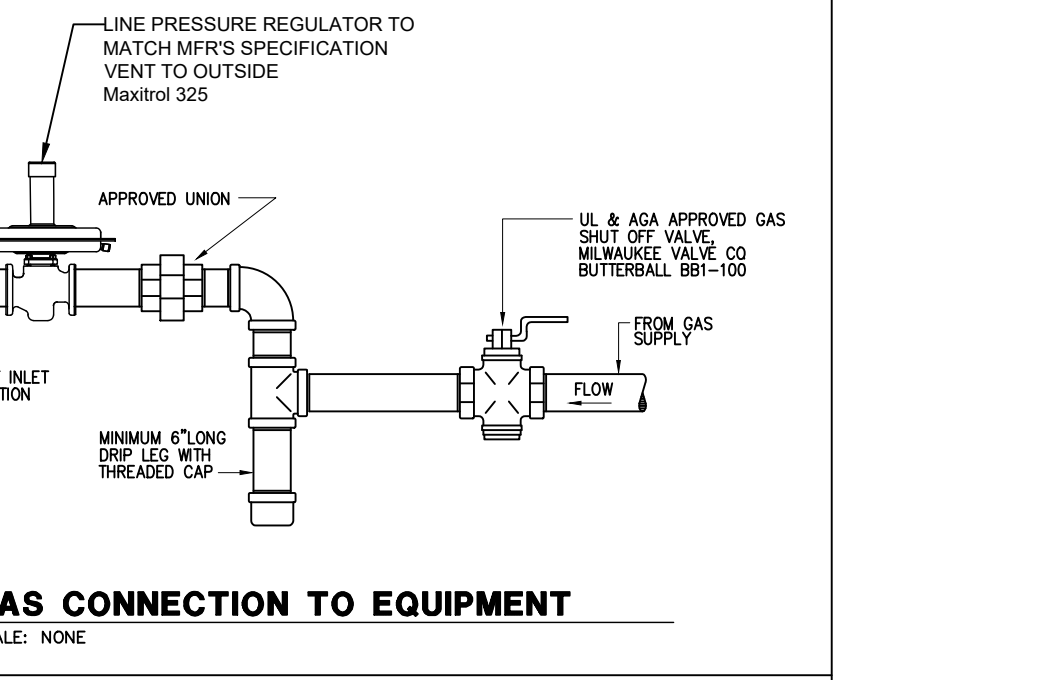
SPECIAL VENTING FOR ISLAND FIXTURE IS A METHOD FOR VENTING A FIXTURE IN AN ISOLATED LOCATION WHERE VENT PIPES INSTALLED AS NORMALLY REQUIRED IN UPC WOULD NOT BE PRACTICAL.



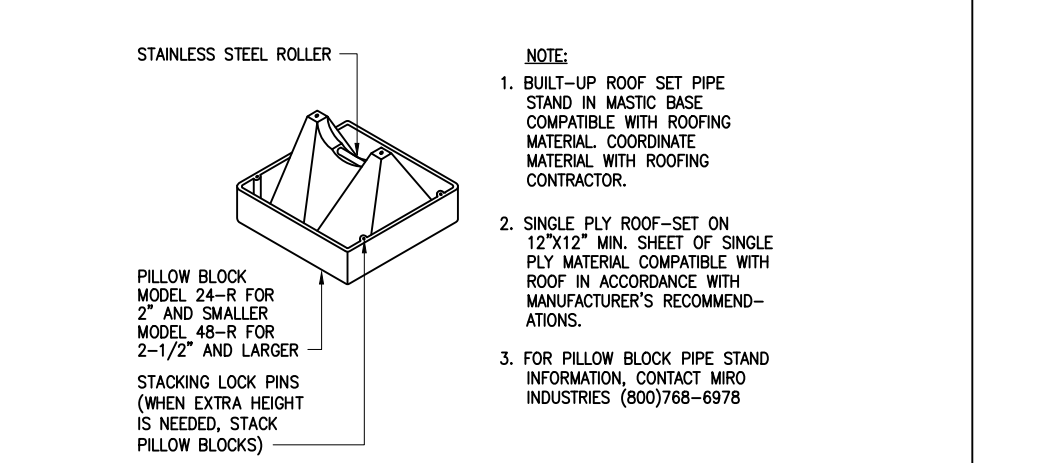
10 ISLAND SINK VENT



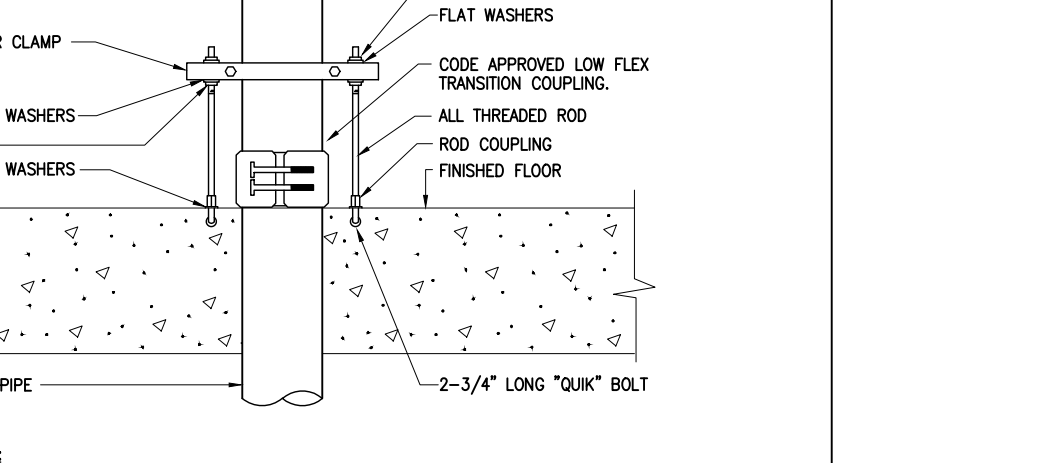
6 INTERIOR WALL PENETRATION  
SCALE: NONE



3 GAS CONNECTION TO EQUIPMENT  
SCALE: NONE



7 PIPE SUPPORT ON ROOF  
SCALE: NONE



2 CAST IRON TO PVC PIPE TRANSITION  
SCALE: NONE

NOTES:

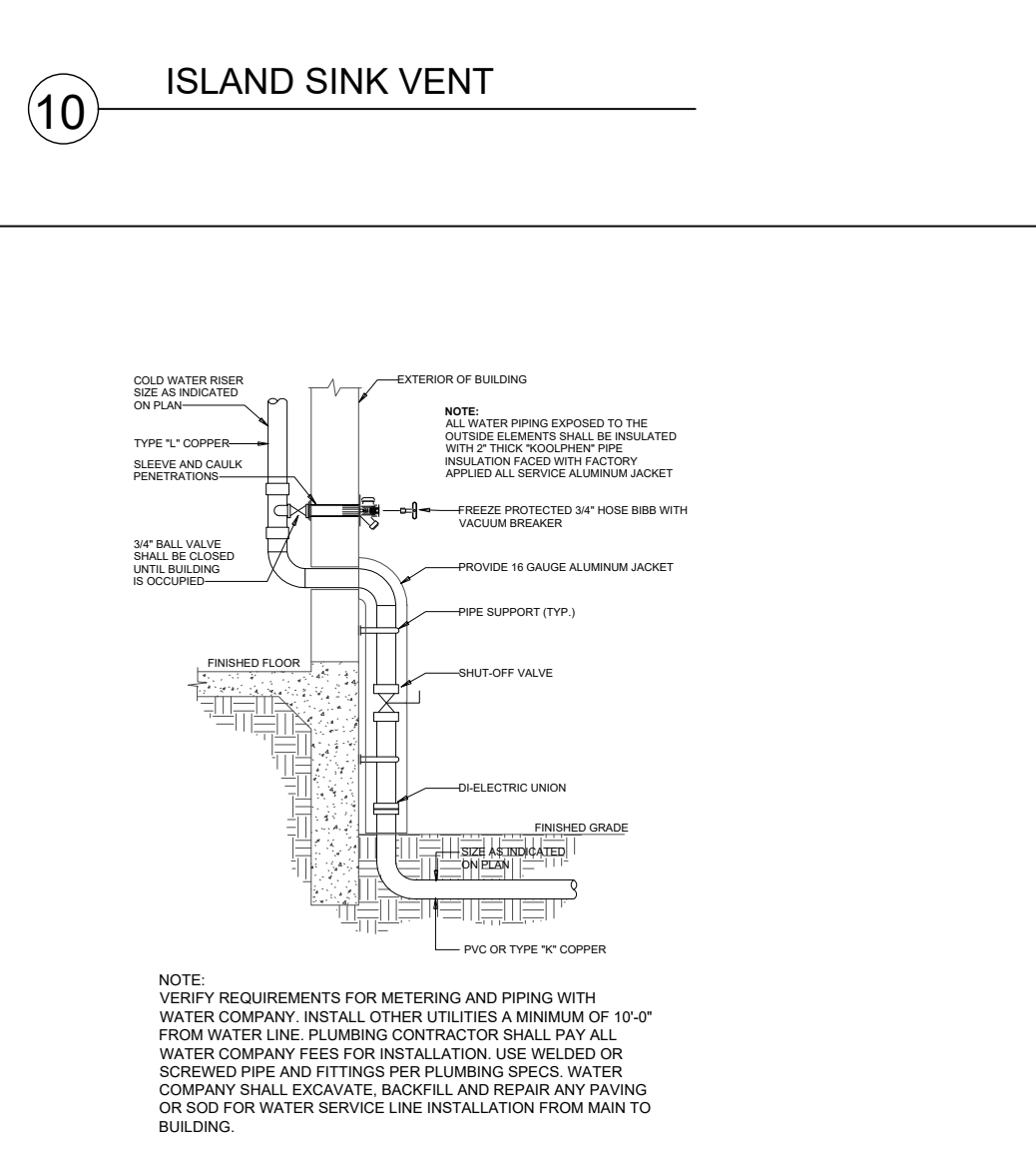
1. THE MALE END OF THE OVERLAPPED DUCT JOINTS SHALL EXTEND IN THE DIRECTION OF AIRFLOW.
2. NO SCREWS SHALL BE ALLOWED IN THE DRYER EXHAUST DUCT AND ALL JOINTS SHALL BE SEALED WITH FOIL FACED TAPE.
3. DRYER EXHAUST SYSTEM IS DESIGNED BASED ON A WASHER/DRYER AS MANUFACTURED BY GE MODEL GFDN120ED. CONTRACTOR SHALL USE SHEET METAL ROUND DUCTWORK AND MINIMIZE THE USE OF FLEXIBLE DUCTWORK.

MAXIMUM LENGTH OF 4 INCH DIAMETER RIGID METAL DUCT:

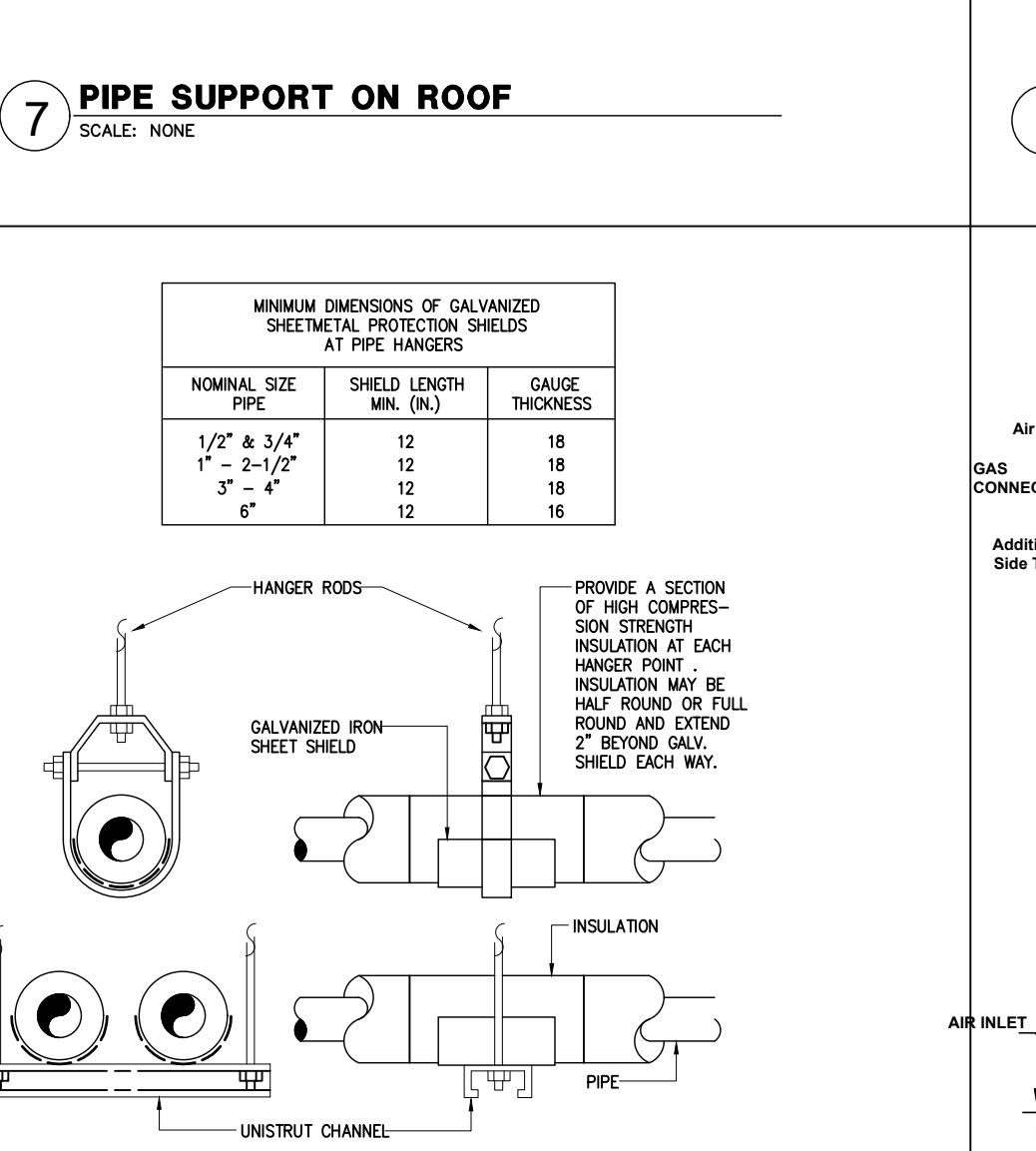
No. of Elbow Feet	Length
0	90
1	60
2	45
3	35
4	25

DRYER EXHAUST DETAIL "A"  
NOT TO SCALE

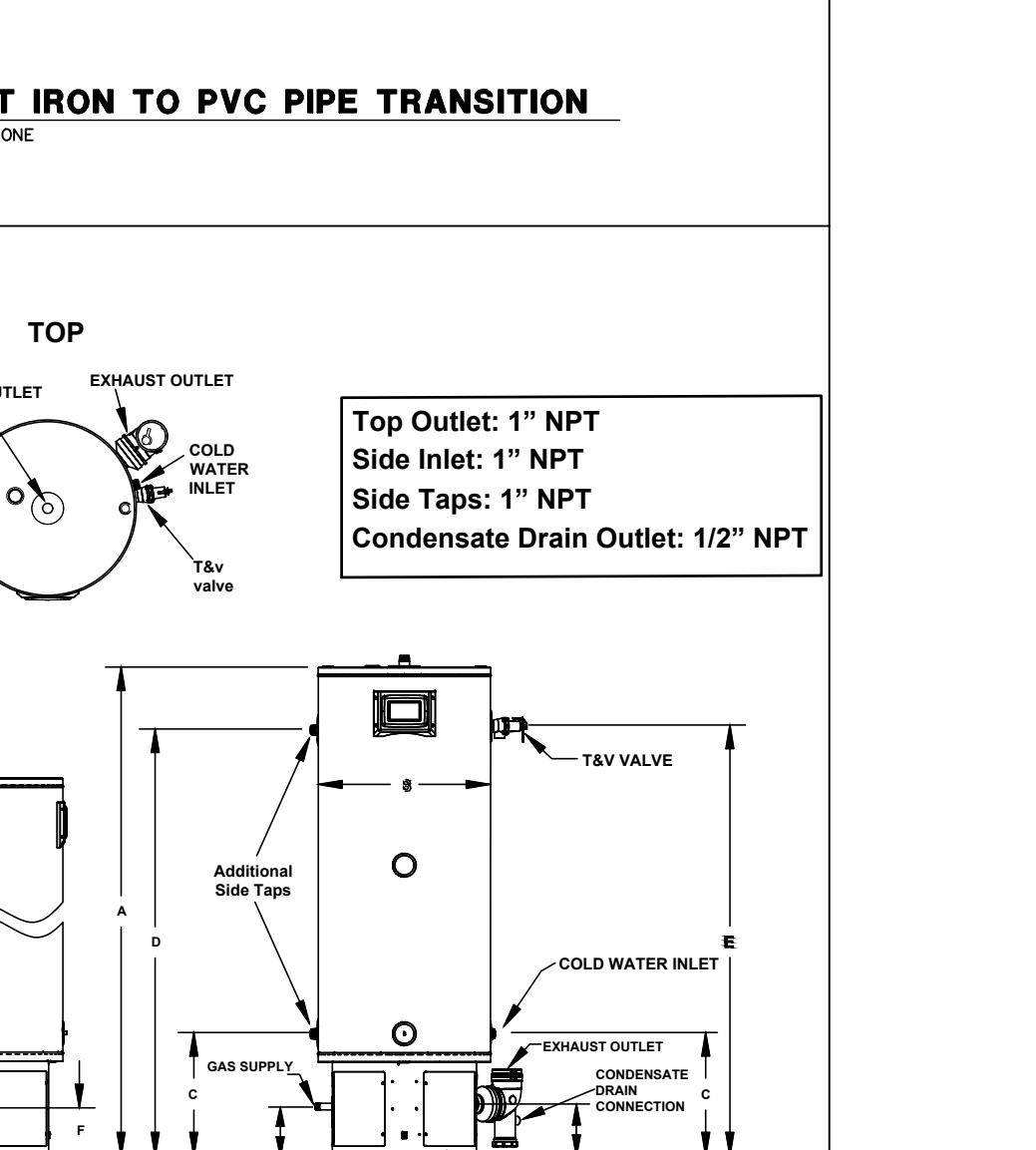
12 DRYER VENT  
SCALE: NONE



9 WATER ENTRY DETAIL  
SCALE: NONE



8 HANGER FOR WATER PIPING  
SCALE: NONE



1 CAST IRON TO PVC PIPE TRANSITION  
SCALE: NONE

PLUMBING INSTALLATION DETAILS  
SCALE :NTS



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Project Name and Address:

Addition & ADU for  
**Mrs. Sadaf Ahmad**  
39459 BLUE FIN WAY FREMONT, CA 94538



Date: June 3, 2021

Scale: 1/4" = 1' - 0"

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PLUMBING DETAILS