

LEGAL DESCRIPTION
 SINGLE FAMILY RESIDENTIAL PROPERTIES
 PARCEL NUMBER 5659-011-011
 TRACT # 22281
 LOT 51
 ZONING GLR1RY

TOTAL SQUARE FOOTAGE

EXISTING BUILDING	
FIRST FLOOR	1,665 SQ.FT.
SECOND FLOOR	0.00 SQ.FT.
PROPOSED	
FIRST FLOOR	0.00 SQ.FT.
SECOND FLOOR	1,111 SQ.FT.
GARAGE	477 SQ.FT.
BALCONY	0.00 SQ.FT.
COVERED PATIO	384 SQ.FT.
ACCESSORY BUILDING	0.00 SQ.FT.
PROPERTY	13,796 SQ.FT.

RATIO OF LOT COVERAGE TO LOT AREA

FIRST FLOOR	1,665 SQ.FT.
GARAGE	477 SQ.FT.
LOT AREA (PROPERTY)	13,796 SQ.FT.
$\frac{(1665+477) \times 100}{13,796} = 15.26\%$	

RATIO OF FLOOR AREA TO LOT AREA

FIRST FLOOR	1,665 SQ.FT.
SECOND FLOOR	1,111 SQ.FT.
TOTAL	2,776 SQ.FT.
$\frac{(1665+1111) \times 100}{13,796} = 20.12\%$	

LANDSCAPE AREA

LOT AREA (PROPERTY)	13,796 SQ.FT.
FIRST FLOOR	1,665 SQ.FT.
GARAGE	477 SQ.FT.
HARDSCAPE AREA	1,503 SQ.FT.
COVERED PATIO	384 SQ.FT.
LANDSCAPE AREA	13,796 - 4,029 = 9,767 SQ.FT.

RATIO LANDSCAPE AREA TO LOT AREA

$\frac{(9767) \times 100}{13,796} = 70.80\%$	
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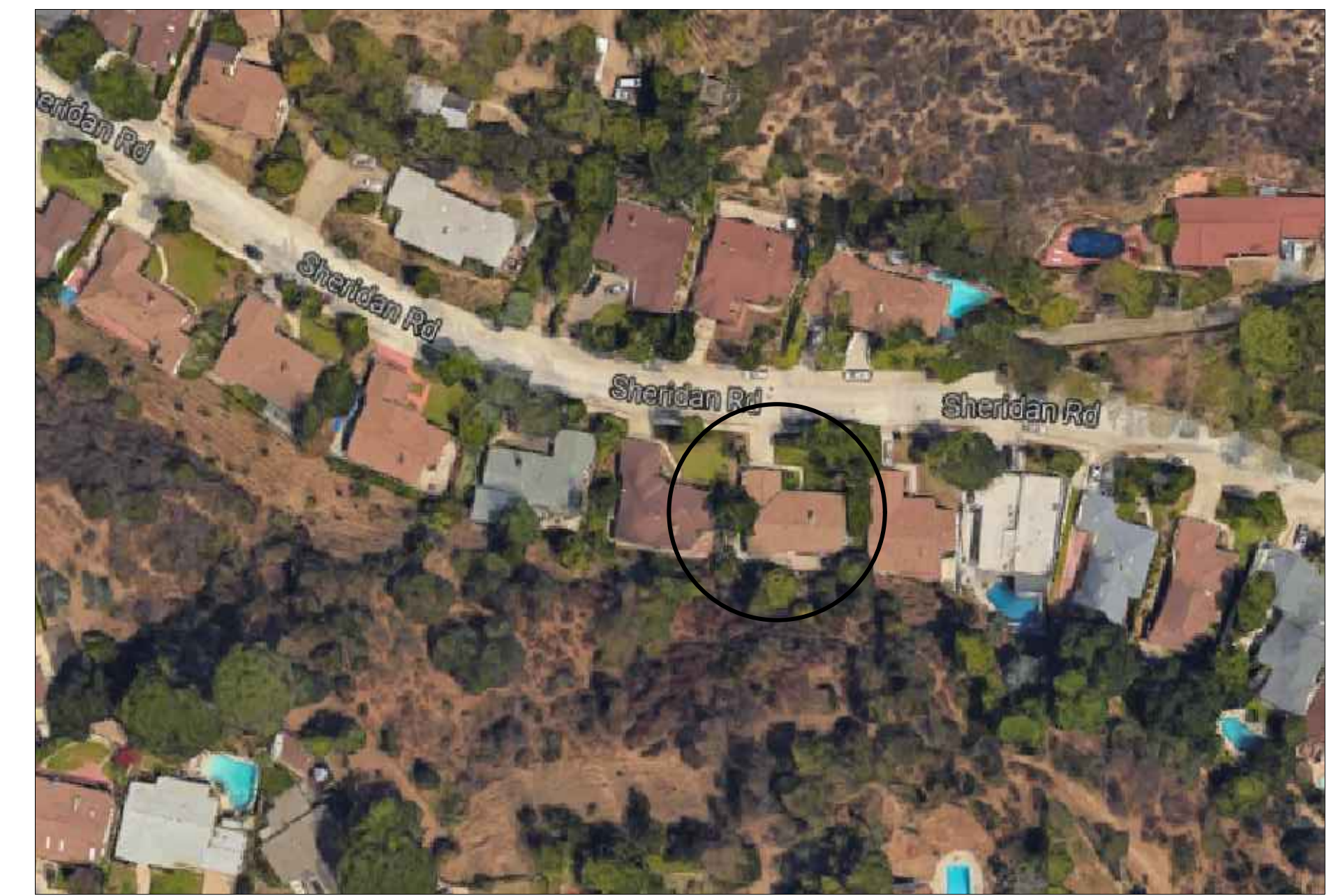
SITE PLAN LEGEND

EXISTING FIRST FLOOR	
NEW SECOND FLOOR	
EXISTING GARAGE	
PLANTERS (LANDSCAPE AREA)	

Project Name and Address:

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DRAWING TITLE: SITE PLAN AND LEGAL DESCRIPTION

Sheet

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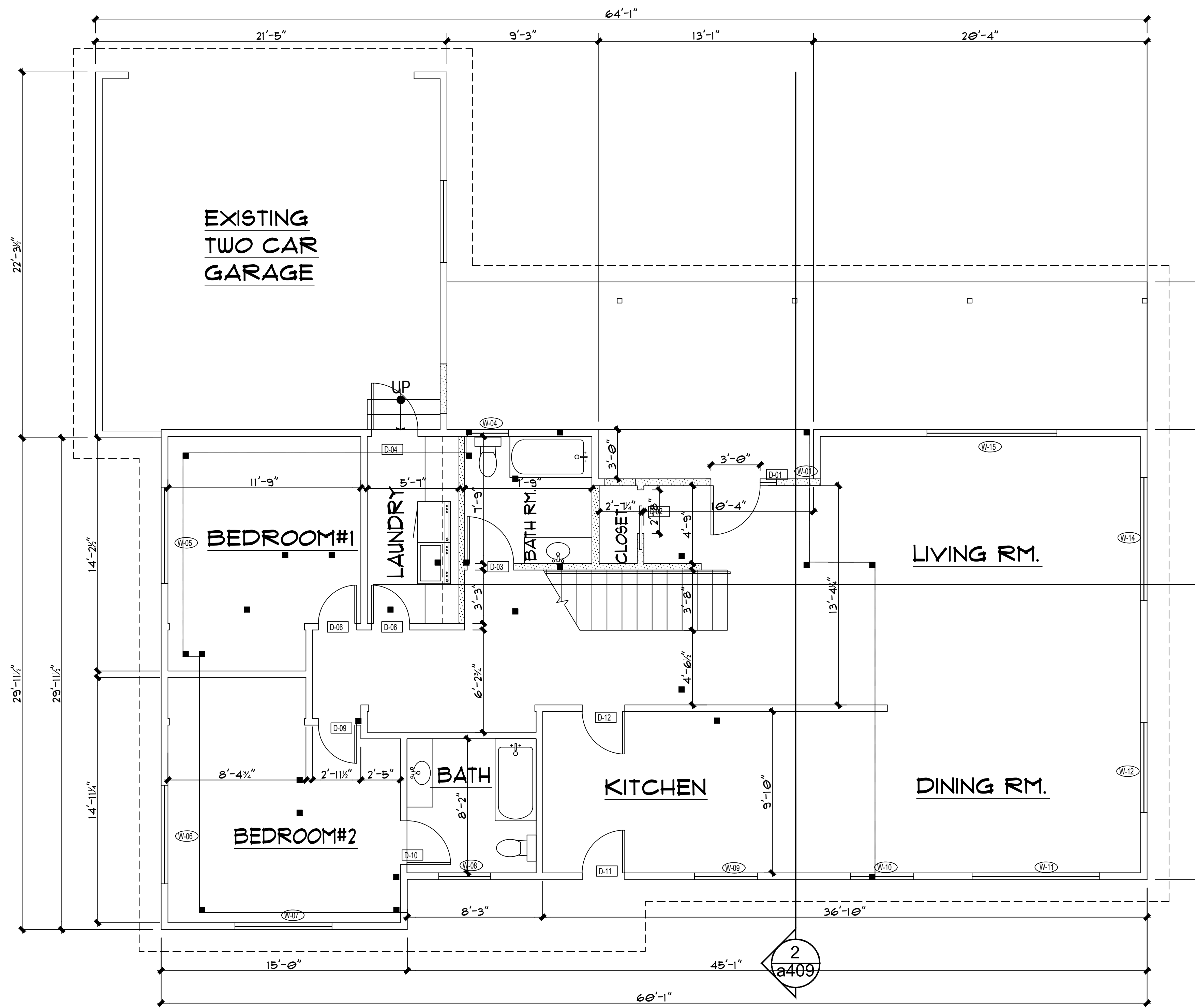
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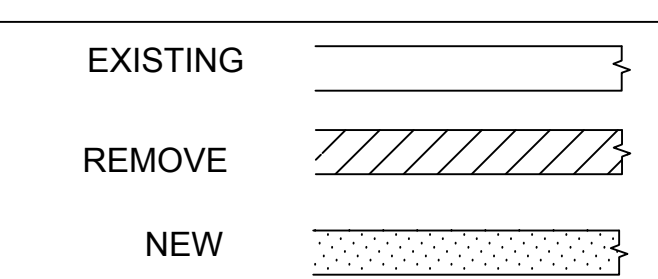
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- NOTES:**
1. IF THIS SHEET IS NOT 24" X 36" USE GRAPHIC SCALE ACCORDINGLY.
 2. GROSS MEASURED AREA SHALL MEAN THE TOTAL AREA OF A BUILDING ENCLOSED BY THE DOMINANT PORTION, EXCLUDING PARKING AREAS AND LOADING DOCKS (OR PORTION OF SAME) OUTSIDE THE BUILDING. CALCULATED BY A FLOOR BY FLOOR BASIS.
 3. GROSS BUILDING AREA SHALL MEAN THE TOTAL CONSTRUCTED AREA OF A BUILDING.
 4. ANSI/BOMA Z65.1-2010 STANDARD METHOD USED FOR MEASURING FLOOR AREA IN BUILDINGS.

WALL LEGEND



3

NEW FIRST FLOOR REMODELING PLAN

Scale: 1/4"=1' - 00"

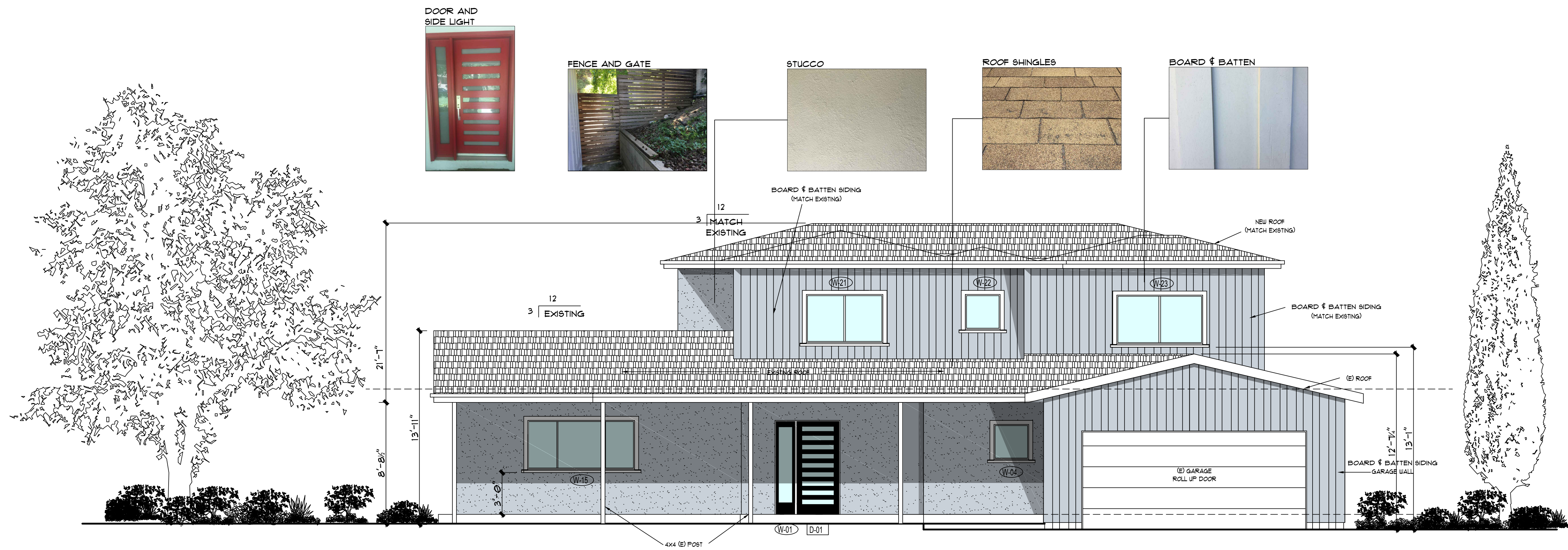
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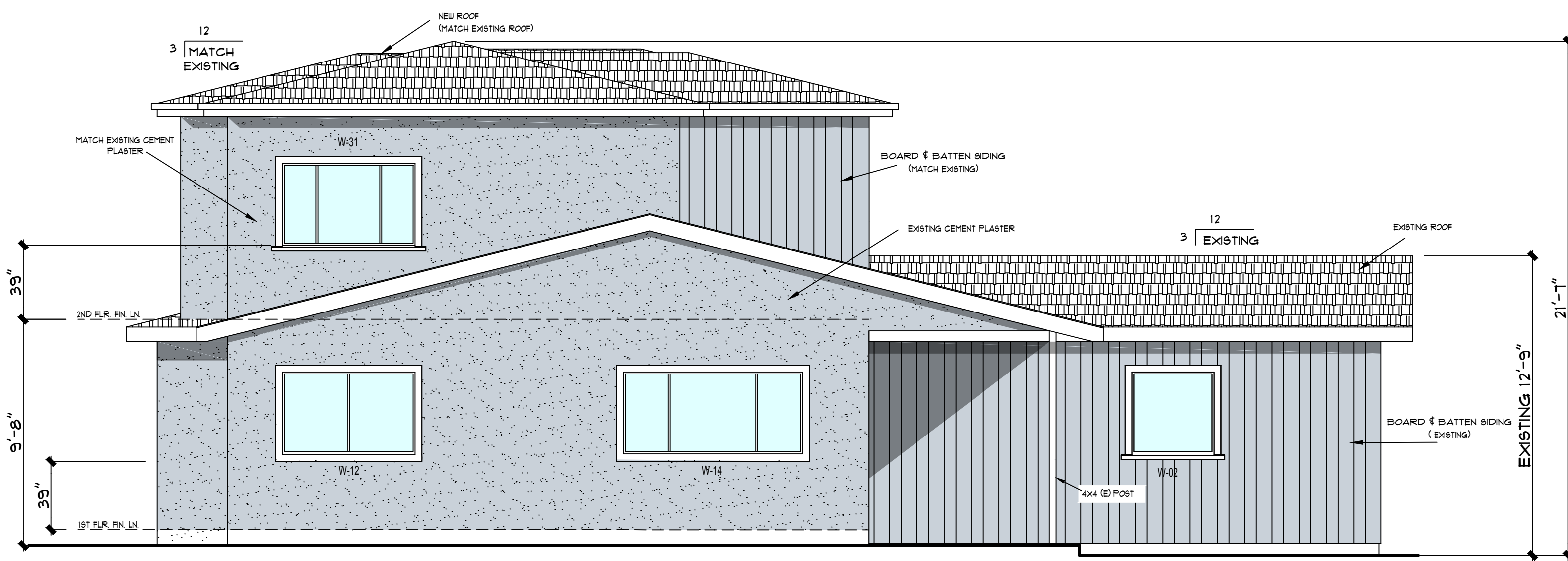
DRAWING TITLE: PROPOSED 1ST FLOOR PLAN		Sheet	4 of 14		
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NORTH ELEVATION
Scale: 1/4":1' - 00"

NOTE:
BOTTOM OF ALL
HEADERS ARE 6'-9"



5

EAST ELEVATION
Scale: 1/4":1' - 00"

NOTE:
BOTTOM OF ALL
HEADERS ARE 6'-9"



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DRAWING TITLE: NORTH AND EAST ELEVATIONS

Sheet

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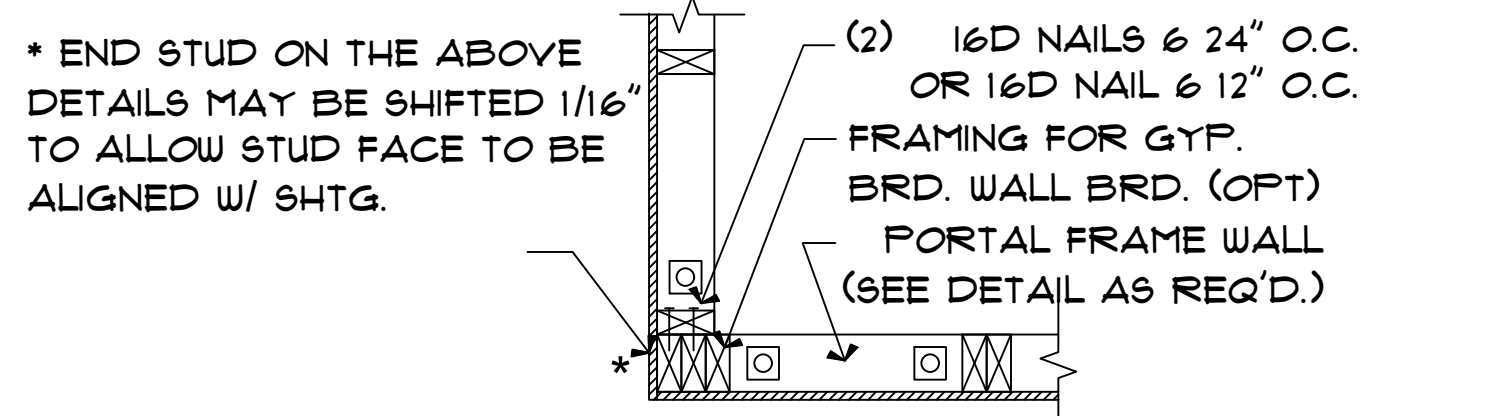
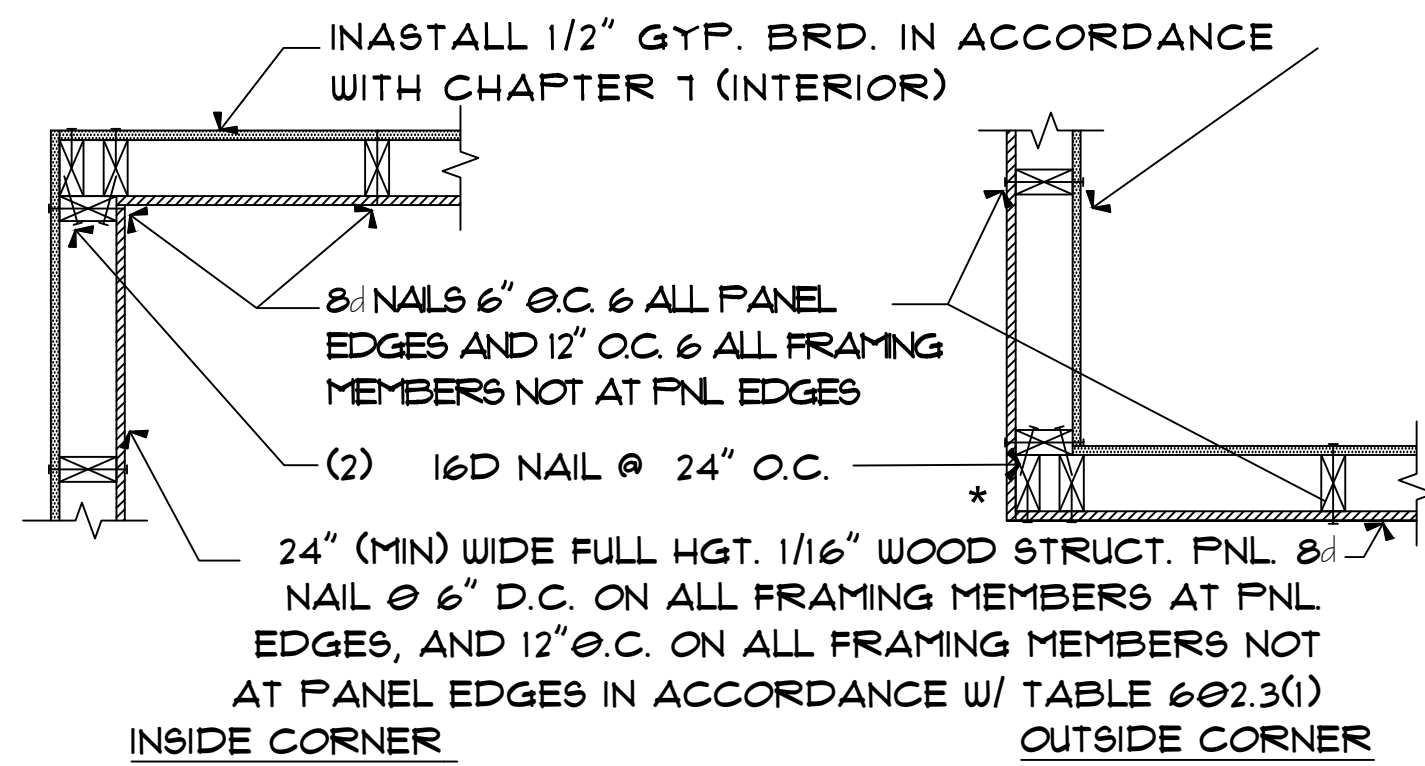
Date
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Scale
1/4" = 1'-00"

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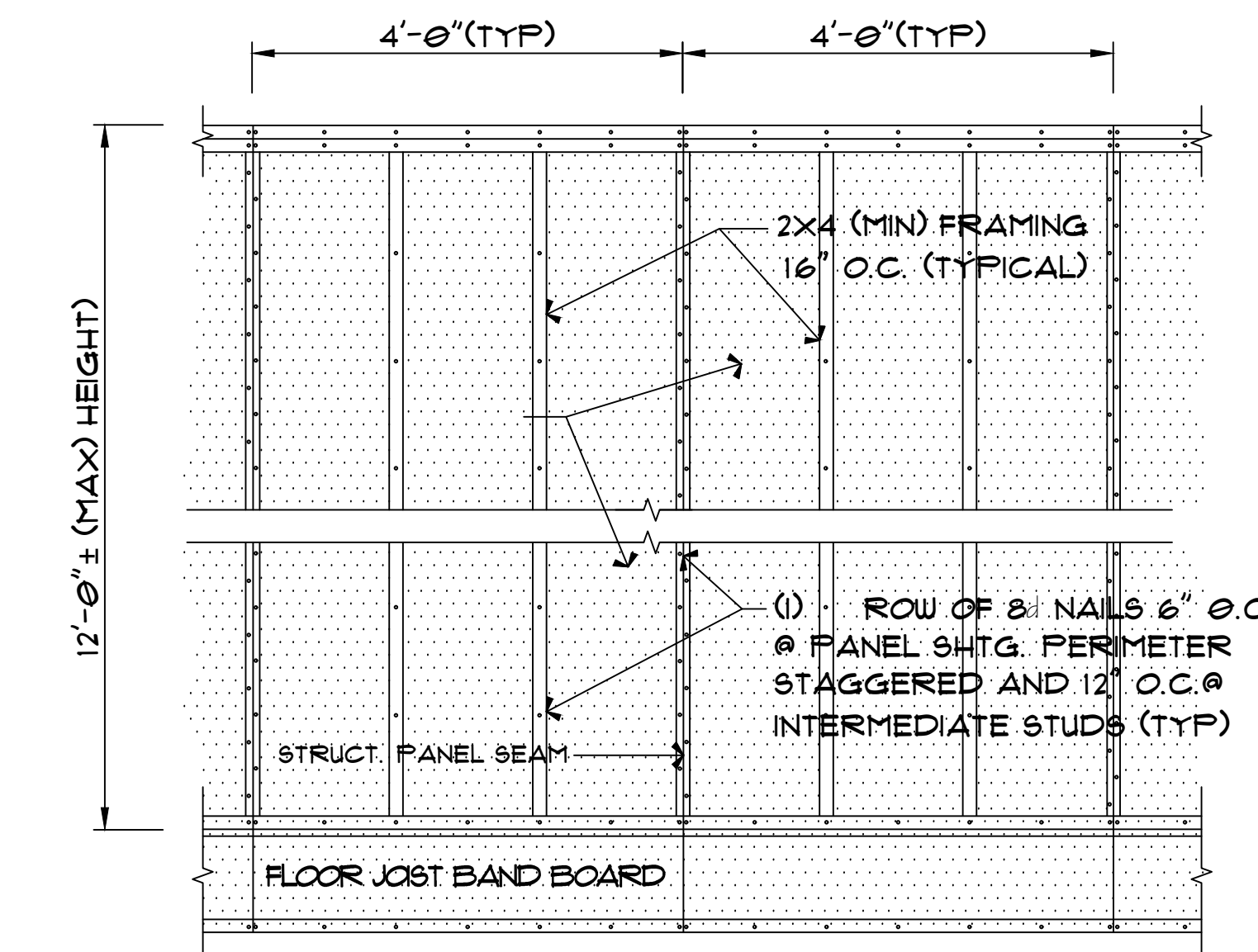
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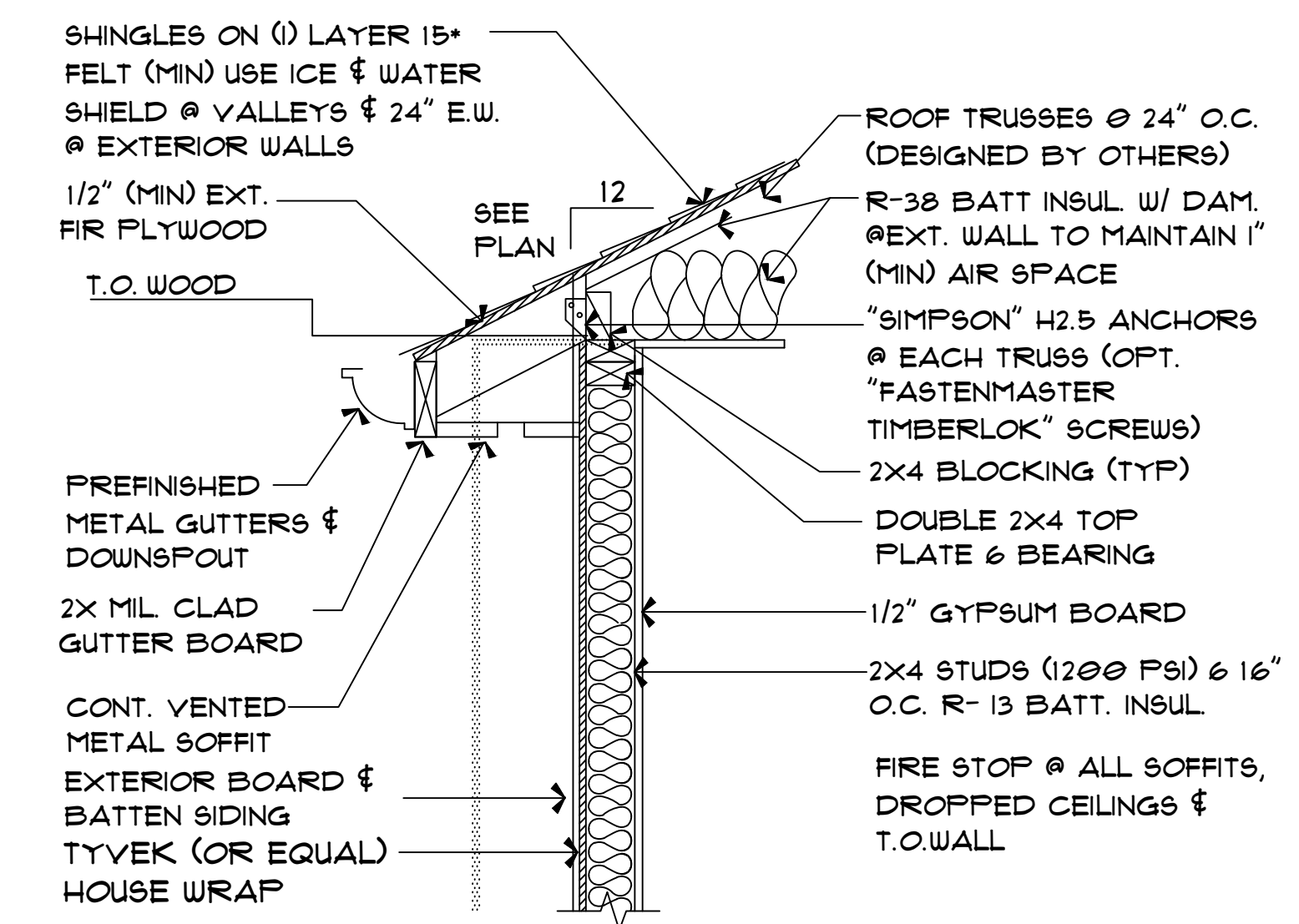
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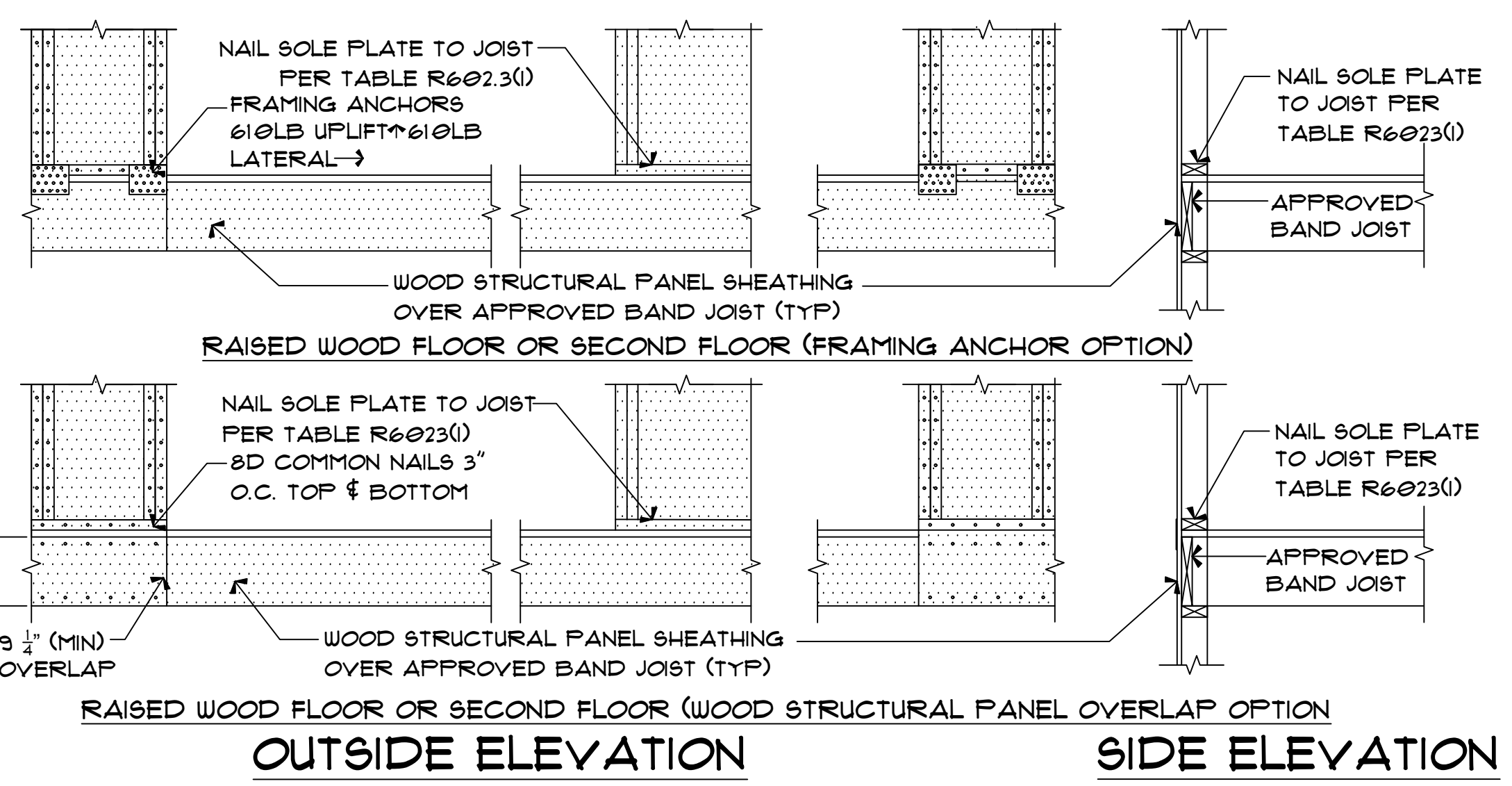
CORNER DETAIL USED IN CONJUNCTION WITH PORTAL WALL
EXTERIOR CORNER FRAMING
 SCALE: 3/4" = 1'-0"



TYPICAL CONT. EXT. STRUCTURAL PANEL SHTG.
 SCALE: 1/2" = 1'-0"

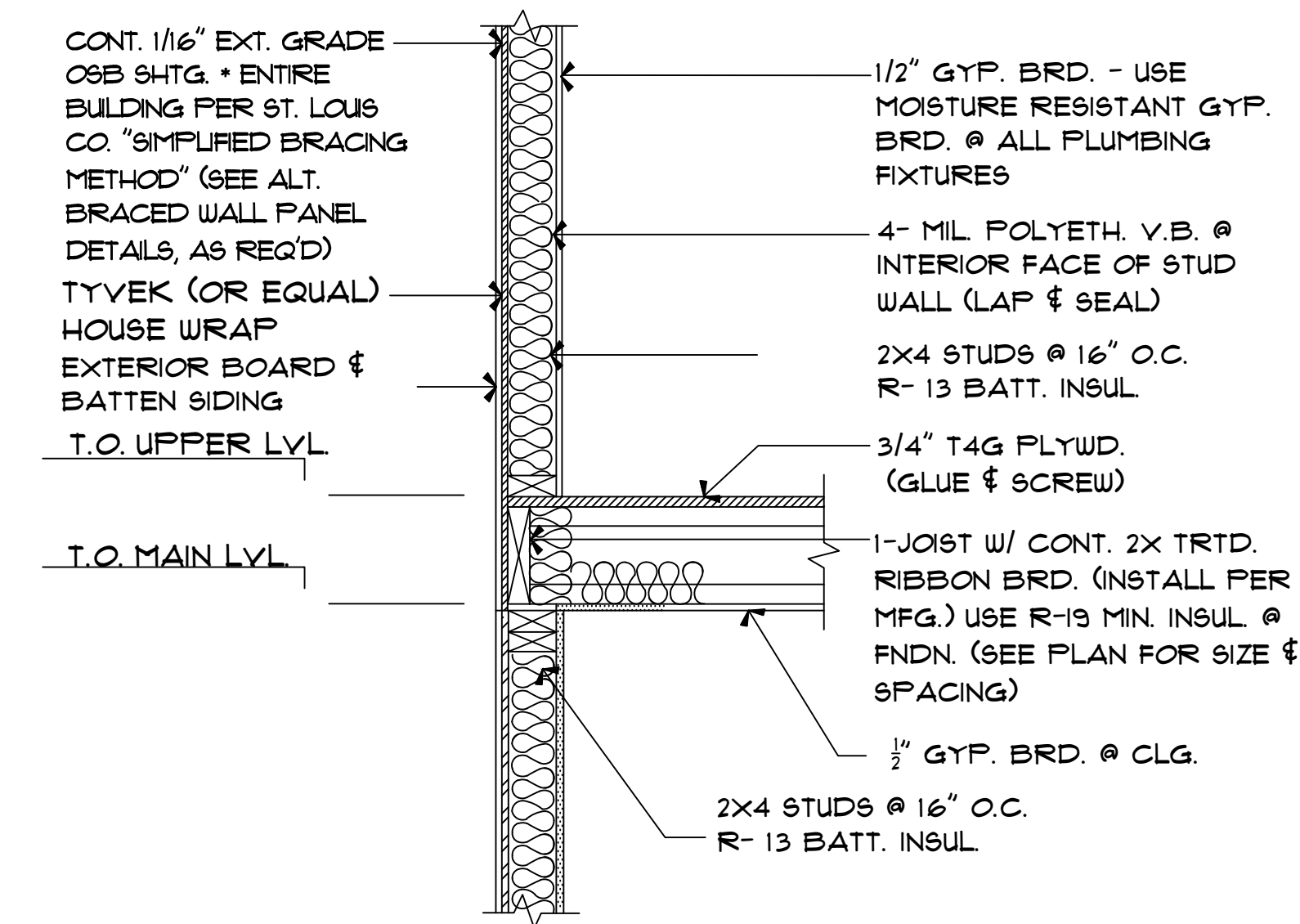


TYPICAL TRUSS BEARING @ HOUSE
 SCALE: 3/4" = 1'-0"

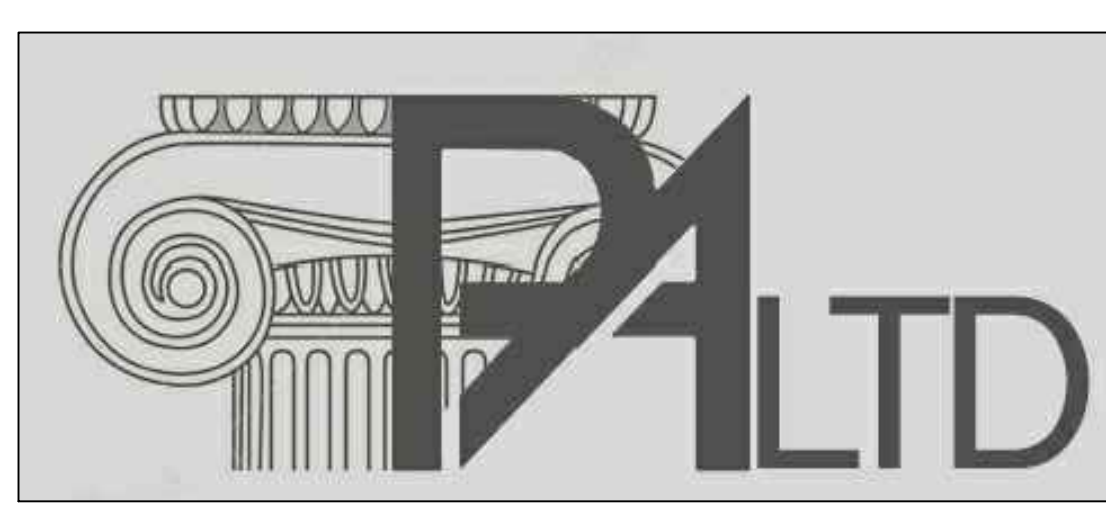


CRIPPLE WALL FRAMING CONSISTING OF STUD FRAMING, SINGLE BOTTOM PLATE, AND DOUBLE TOP PLATE MAY BE ADDED TO THE TOP OF THE NARROW PORTAL WALL AS LONG AS THE COMBINED HEIGHT OF THE TWO WALLS IS LESS THAN OR EQUAL TO 12-FEET AND THE TWO WALLS ARE STRAPPED TOGETHER ON THE INTERIOR SIDE WITH A 16-GA. METAL 1-1/2" WIDE X 21" LONG STRAP. 10-INCH (MIN) OF THE STRAP SHALL BE CONNECTED TO EACH WALL OR GABLE TRUSS WITH 9-16D NAILS FOR A TOTAL OF 18-16D NAILS IN THE ENTIRE STRAP. STRAPS SHALL BE LOCATED AT EACH END OF THE CONNECTED WALLS OR WALL AND GABLE TRUSS WHERE SPACE ALLOWS FOR THE 10-INCH LENGTH OF STRAP. THE SPACING BETWEEN THE STRAPS MAY NOT EXCEED 4-FEET ON CENTER. THE STRAPS SHALL NOT BE BENT HORIZONTALLY TO ACCOMMODATE WOOD FRAMING. IF APPLICABLE, NAILERS SHALL BE ADDED TO ONE OF THE WALLS OR GABLE END USING A MINIMUM OF 9-16D NAILS TO CREATE THE VERTICAL PLANE NEEDED TO MOUNT THE STRAP.

SIMPLIFIED PORTAL WALL - FIGURE R602-10.10.3
 SCALE: 1/2" = 1'-0"



TYPICAL @ UPPER LEVEL
 LAP SIDING (VERIFY TYPE & PROFILE W/ OWNER) SCALE: 3/4" = 1'-0"
 * THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE LATERAL BRACING PROVISIONS OF SEC. R602.10 OF THE 2009 EDITION OF THE IRC



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